#### 22 July 2022

#### **APPENDIX I**

#### Standards and Guidelines for the Conservation of Historic Places in Canada

#### THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

#### General Standards for Preservation, Rehabilitation and Restoration

- Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable characterdefining elements. Do not move a part of an historic place if its current location is a character-defining element.
- Conserve changes to an historic place that, over time, have become character-defining elements in their own right.
- Conserve heritage value by adopting an approach calling for minimal intervention.
- Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
- Find a use for an historic place that requires minimal or no change to its character-defining elements.
- 6. Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
- Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
- 8. Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
- Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

#### Additional Standards Relating to Rehabilitation

- 10. Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
- 11. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

#### **Additional Standards Relating to Restoration**

- 13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
- Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

#### APPENDIX II

Development Drawings (prepared by Kirkor Architects)

# 561 Jarvis Street, 102-120 Earl Place

## Proposed Mixed-Use Residential Development



#### CLIENT

ORIGINATE DEVELOPMENTS

#### ARCHITECTStructural EngineerKIRKOR ARCHITECTS & PLANNERSJablonsky, Ast & Partners 20 DE BOERS DR. #400 TORONTO, ON. M3J 0H1

1129 Leslie Street Don Mills, ON, M3C 2K5 **Mechanical & Electrical Engineer** Smith + Andersen 1100 - 100 Sheppard Ave. East

**ACOUSTIC ENGINEER** RWDI 600 Southgate Drive Guelph, ON N1G 4P6

Wind Consultant RWDI 600 Southgate Drive Guelph, ON N1G 4P6

Traffic Consultant BA Consulting Group Ltd. 300-45 St. Clair Avenue West Toronto, ON M4V 1K9

Planner Bousfields Inc. 3 Church Street, Suite 200 Toronto, ON M5E 1M2

Energy Modeller Footprint 1100 - 100 Sheppard Ave. East Toronto, ON, M2N 6N5

Site Servicing RV Anderson 2001 Sheppard Avenue East Suite 300, Toronto ON M2J 4Z8

Landscape Architect Marten-Nikzad Landscape Architects Inc. 1387 Bayview Ave, Unit 105 Toronto, ON M4G 3A5

Environmental & HyroGeo PGL Environmental 102-250 Water Street Whitby, ON L1N 0G5

Geotech Terrapex 90 Scarsdale Road Toronto, Ontario

**Civil Engineer RV** Anderson 2001 Sheppard Avenue East, Suite 300 Toronto ON M2J 4Z8

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S.V
Checked by:
R.P
Project No.:
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Date:
July 15, 2022

	Drawing Title:
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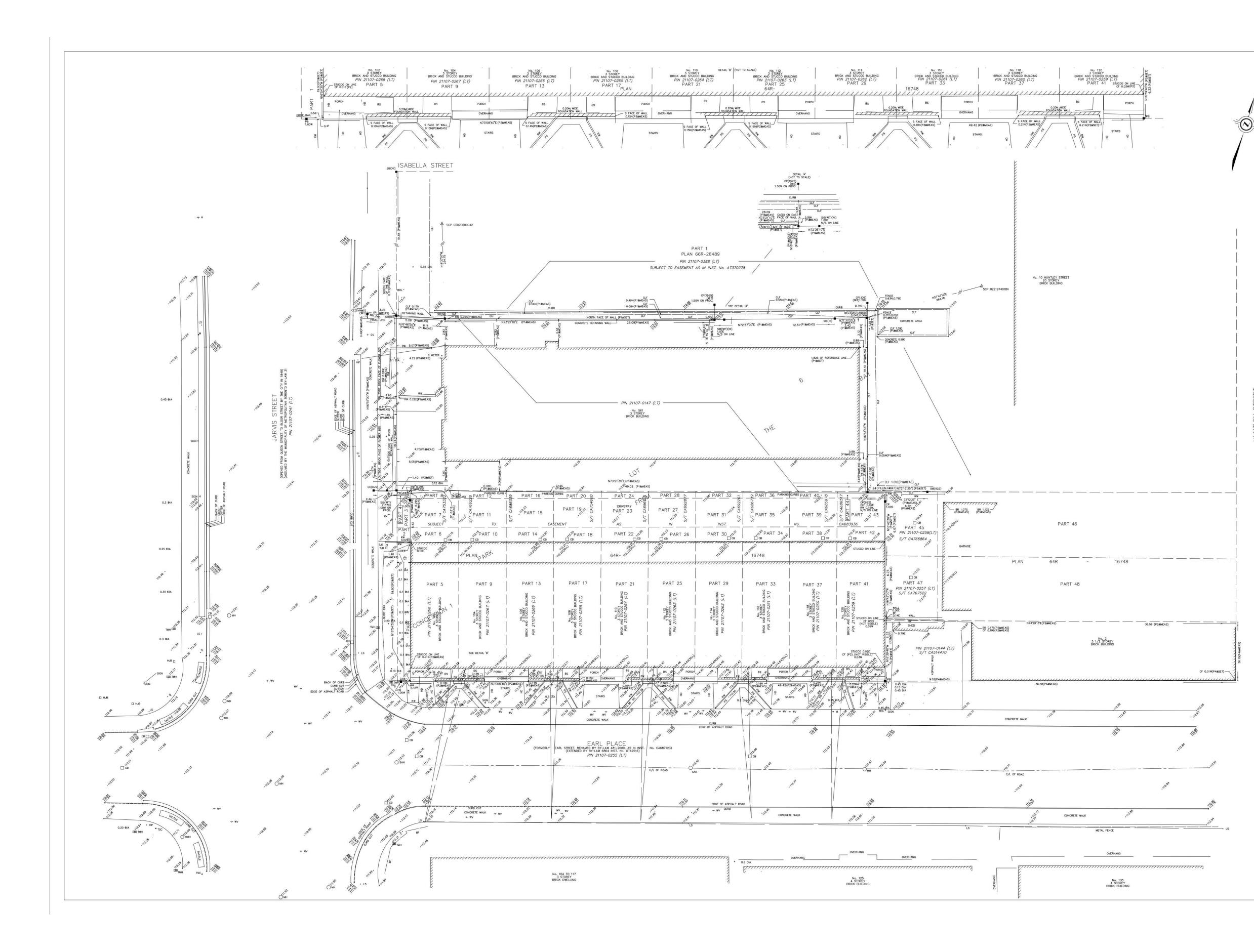
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Residential Onners         Residential Valors Real Parking         Residential Valors Real Parking spaces is less than 13, e minimum of 1 parking spaces must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space to 25 parking spaces or part thereof must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space to 25 parking spaces or part thereof must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking spaces is 13 to 100, a minimum of 1 parking space must comply with all n required parking space is 12 to 100, a minimum of 1 parking space is 12 to 100, a minimum of 1 parking space is 12 to 100 and parking space is 12 to	Viators Viator	Resident Parking Proposed 34 32	Required Accessible	0.12 kmł 0.015 kmł 2aro 15 kmł 13.0 1
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Residential Owners Residential Withers Residential Withers Residential Withers Residential Withers Resident Parking         200.15.10 (1) Parking Rates - Accessible Parking Spaces (A) If the number of required parking spaces is is is 100, a minimum of 1 parking space for 23 parking spaces or part therof musi creptired Accessible Parking           equired Accessible Parking Resident Accessible Parking Required Accessible Parking Required         Spaces Required Spaces Required           equired Accessible Parking Required Accessible Parking Required Accessible Parking Required         Owners 0 44 0 44 0 44 0 44 0 44 0 44 0 44 0 4	Viators Viator	Resident Parking Proposed 34 32	Required Accessible	0.12 Amit 0.015 Amit 2aro 10.015 Amit Parking Spaces 13.0 13 13 13 13 13 13 13 13 13 13
Resident Unions Resident Visions Accessible Parking         200 15.10 (1) Parking Rates - Accessible Parking Spaces (A) If the number of required parking spaces is ises than 13, a minimum of 1 parking space or part thereof uses required Accessible Parking         Spaces Required           Required Accessible Parking         Spaces Required         Spaces Required           Required Accessible Parking spaces is 13 to 100, a minimum of 1 parking spaces or part thereof uses required Accessible Parking         Spaces Required           Required Accessible Parking Required         Ommonited (Commonited Parking Required)         Ommonited (Commonited Parking Required)           Level P3         Spaces Required         Spaces Required (Commonited Parking Required)         Spaces Required)           Level P3         Spaces Required (Commonited Parking Provided)         Spaces Required)         Spaces Required)           Level P3         Spaces Required (Commonited Parking Provided)         Spaces Required)         Spaces Required)           Visite Parking Provided         Ommonited (Commonited Parking Provide)         Spaces Required)         Spaces Required)           Level P3         Spaces Required (Commonited Parking Spaces Spaces)         Spaces Required)         Spaces Required)           Visite Parking Provided         Ommonited (Commonited Parking Spaces Parking Spaces Spaces)         Spaces Required)           Level P3         Spaces Required (Commonited Parking Spaces)         Spaces Required (Commonit	Visitors Visitors 0 0 8 Visitors 0 0 0 2 7 7 0 0 0 0 0 0 0 0 0 0 0 0 0	Resident Parking Proposed 34 32 66	Required Accessible	0.12 Amit 0.015 Amit 2aro 15 Amit 2arking Spaces 13.0 14.0 15.0 10.0
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Redent Dones Research Parking Accessible Parking Accessible Parking South 5.10(1) Parking Rese-Accessible Parking Spaces (i) Fits number of regularing spaces is is set on 13. a minimum of 1 parking spaces for 25 parking spaces is is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking spaces for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking spaces is a 13 to 50, a minimum of 1 parking space for 25 parking space	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible	0.12 Amit 0.015 Amit 0.015 Amit 2aro 10015 Amit 2arbing Spaces 13.0 13 13 13 13 13 13 13 13 13 13
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Reverse Revers	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Stible parking space in           Required Accessible /           //	0.12 Amit 0.12 Amit 0.015 Amit 2aro 130 130 130 130 130 130 130 130
Reliable Darie Schedule Dari	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible	0.12 Amit 0.12 Amit 0.015 Amit 2aro 13.005 funt 13.00
Reside Decision Accessible Paring         200.510 (1) Paring Ress - Accessible Paring Speces II.) If an involve of regide paring species II. It is an involve of a paring spece involve of the par	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible	0.12 Amit 0.12 Amit 0.015 Amit 2aro 10.015 Amit section 200.15 Parking Spaces 133 13 13 13 13 13 13 13 13 1
	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible /	0.12 Amit 0.12 Amit 0.015 Amit 2aro 13.0 13. 13. 13. 13. 14. 14. 14. 15. 13. 14. 14. 15. 15. 15. 15. 15. 15. 15. 15
Rational Data on Series Seri	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible /	0.12 Amit 0.12 Amit 0.015 Amit 2aro 10.015 Amit 10.015 Amit 2arking Spaces 13.0 13 13 13 13 13 13 13 13 13 13
	Comply with all regulations           Visitors           0.10 /unit           Level P1 Bicy           286           20           286           294           94           94           0      <	Resident Parking Proposed 34 32 66 60 0 336 cle Mezzanine 0 0	Required Accessible /	0.12 Amit 0.12 Amit 0.015 Amit 2aro 13.0 13. 13. 13. 13. 14. 14. 14. 15. 13. 14. 14. 15. 15. 15. 15. 15. 15. 15. 15

		Richmond, Toronto ireet , 102-120 Earl				
ltem	ов	C, O.Reg. 332/1: Dat	io Building Code 2012 2 as amended to O.Reg. 762 a Matrix Part 3 d-Use Residential Building	2/20		OBC Reference
			a-ose residential building			
1	Project Description: New Residential Apartm Major Occupancy(s):	nent Building				1.1.2.
	Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Low hazard industrial occupancie	s (Storage Garage)				3.1.2.1.(1)
3	Subsidiary Occupancy(s) Group A2 – Assembly occupancies (Amenity / Group F2 - Medium hazard industrial occupa		Service Room)			3.1.2.1.(1)
4	Building Area (m <sup>2</sup> )		11.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1		1450 m <sup>2</sup>	1.4.1.2.
5	Gross Area (m <sup>2</sup> )				43306 m <sup>2</sup>	1,4,1.2.
6	Mezzanine Area (m2)				0 m <sup>2</sup>	3.2.11.
7	Number of Storeys: Above Grade	e: 59	Below Grade: 3			1.4.1.2. & 3.2.1.
9	Number of streets/Fire Fighter Access: Building Classification: Group C - Residential occupancies Group E - Mercantile occupancies Group F3 - Medium hazard industrial occupan	2 ncies (Storage Garad	je)			3.2.2.10. & 3.2.5 3.2.2.42. 3.2.2.57. 3.2.2.15
10	Sprinkler System Proposed:				Entire Bulding	3.2.2.2083
11	Standpipe required:				Yes	3.2.9.
12	Fire Alarm required:				Yes	3.2.4.
13	Water Service/Supply is Adequate:				Yes	3.2.5.7.
14	High Building:				Yes	3.2.6.
15	Construction Restrictions:			Non-o	combustible required	3.2.2.20 83. 8 3.2.1.4.
		FRR Floors Roof	2Hr 0Hr & 2Hr for Occupied roof 1 Hr of Supporting Members 2Hr 0Hr & 2Hr for Occupied roof	Refer to A8 Schedule Refer to A8 Schedule Refer to A8 Schedule Listed Design No. or Refer to A8 Schedule Refer to A8 Schedule	Description (SG-2)	3.2.2.20 83. & 3.2.1.4.
17	DESCRIPTION OF FIRE SEPARATIONS	Mezzanine	1 Hr	Refer to A8 Schedule	Fire-Resistance	OBC
	Exits Stairs				Rating 2 hours	3.4.4.1.(1)
	Firefighters Elevator Shaft				2 hours	3.2.6, 3.2.7.9 & 3.5.3.1.(1)
	Electrical Closet (Containing equipment required to be in a serv	rice room by the Onl	aria Electrical Safety Code)		1 hour (1)	3.6.2.1(6)
	Electrical Closet	nde room by the On	and Electrical Salety Code)		2 hour	3.2.7.8.(3) &
	Vertical Service Spaces				1 hour (1)	3.2.7.9 3.6.3.1.(1)
	Janitor's Room				0 hour	3.3.1.20.(3)
	Electrical Equipment Vault (N/A)				2 hours (3)	3.6.2.7.(1)
	Suite-to-Suite Fire Separation (Including Suite to Corridor Fire Separation (G	iroup C)			1 hour	3.3.4.2.(1)
	Storage / Locker Rooms for Residents				1 hour	3.3.4.3.(2)
	Residential Public Corridor				1 hour	3.3.1.4.(1) & 3.3.4.2.(1)
	Floor Separations (Including Occupied Roof Terraces and Floor-	to-Floor Fire Separa	tions)		2 hour	3.2.2.42 & 3.2.2.57 &
	Mezzanine Floor Assembly				1 hour	3.2.2.15 3.2.2.42
	Parking Garage to any Other Occupancy				1.5 hours	3.3.5.6.(1)
	Garbage Chute Intake Room				45 min.	3.6.3.3.(5) 3.3.1.4.(1)
	Garbage Chute Discharge Room				2 hours	3.6.3.3.(9)
	Garbage Chute Shaft				2 hours (2)	3.6.3.3.(2)
	Central Alarm and Control Facility				2 hours	3.2.6.7, & 3.2.7.8
	Emergency Generator Room Service Rooms				2 hours	3.6.2.8.(1)
	Service Rooms				2 hour	3.2.7.8
	Service Rooms (With Fuel Fired Equipment)				1 hour	3.6.2.1.(1)
	Vestibules to protect elevators on below-grade (1) 2 h if housing emergency life safety (2) Without closures at outlet into Disc (3) 3 hour if not sprinklered (3.2.6.7.(1))	/ circuits / equipmen harge Room (1 h oth			2 hour	SB-4 Measure A (5)
18	Spatial Separation Refer to code report prepared by MGA (Code Construction of Exterior Walls Refer to A8 Schedule	consultant)				323.
19	Barrier-free Design					3.8.
	In a Group C major occupancy apartment buil shall be provided with a barrier-free path of tra			3.8.2.1 (5) & (6)		3.8.2.1.(5) & (6)

## PROJECT STATISTICS 10 NTS dA1.02

## M TORONTO

Statistics Template – Toronto Green Standard Version 4.0 Mid to High Rise Residential and all New Non-Residential Development ment

TORONTO

	all New Non-Residential Developme
	tics Template is submitted with Site Plan Control Applications ar
tand-alone Zoning Bylaw Amendment applic ubmitted as part of the application	cations. Complete the table and copy it directly onto the Site Pl

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2. For further information, please visit <u>www.toronto.ca/greendevelopment</u>

General Project Description	Proposed	
Total Gross Floor Area	43,306.5 m2	
Breakdown of project components (m²):		
Residential	43,152.16	
Retail	154.34	
Commercial	0	
Industrial	0	
Institutional/Other	0	
Total number of residential units	690	

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	Proposed	Proposed %
Number of Parking Spaces	0	74	
Number of parking spaces with EVSE (residential)	66	66	100
Number of parking spaces with EVSE (non-residential)	2	2	25
Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	621	622	100
Number of long-term bicycle parking located on:			
a) first storey of building		0	
b) second storey of building		336	54
c) first level below-ground		286	46
d) second level below-ground		0	
e) other levels below-ground		0	

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Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces	69	69	100
Number of shower and change facilities (non-residential)	n/a		
Iree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area ÷ 66 m2 x 30 m³)	340	292.5	86%
Soil volume provided within the site area (m³)		78	
Soil Volume provided within the public boulevard ( $m^3$ )		214.5	
ection 2: For Site Plan Control Applications			
Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	69	69	100
Number of publicly accessible bicycle parking spaces	10	10	100
Number of energized outlets for electric bicycles	104	106	102
Tree Canopy	Required	Proposed	Proposed %
Total site area (m²)		1866	
Total Soil Volume (40% of the site area $\div$ 66 m <sup>2</sup> x 30 m <sup>3</sup> )	340	292.5	86%
Total number of trees planted	11	9	
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking area			
Landscaping & Biodiversity	Required	Proposed	Proposed %
Total non-roof hardscape area (m²)		187	
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 75% or non-residential 50%) (m²)	14.25	187	100%
Area of non-roof hardscape treated with: (indicate m²)			
a) high-albedo surface material		187	100%
b) open-grid pavement			
c) shade from tree canopy			

## **D** TORONTO

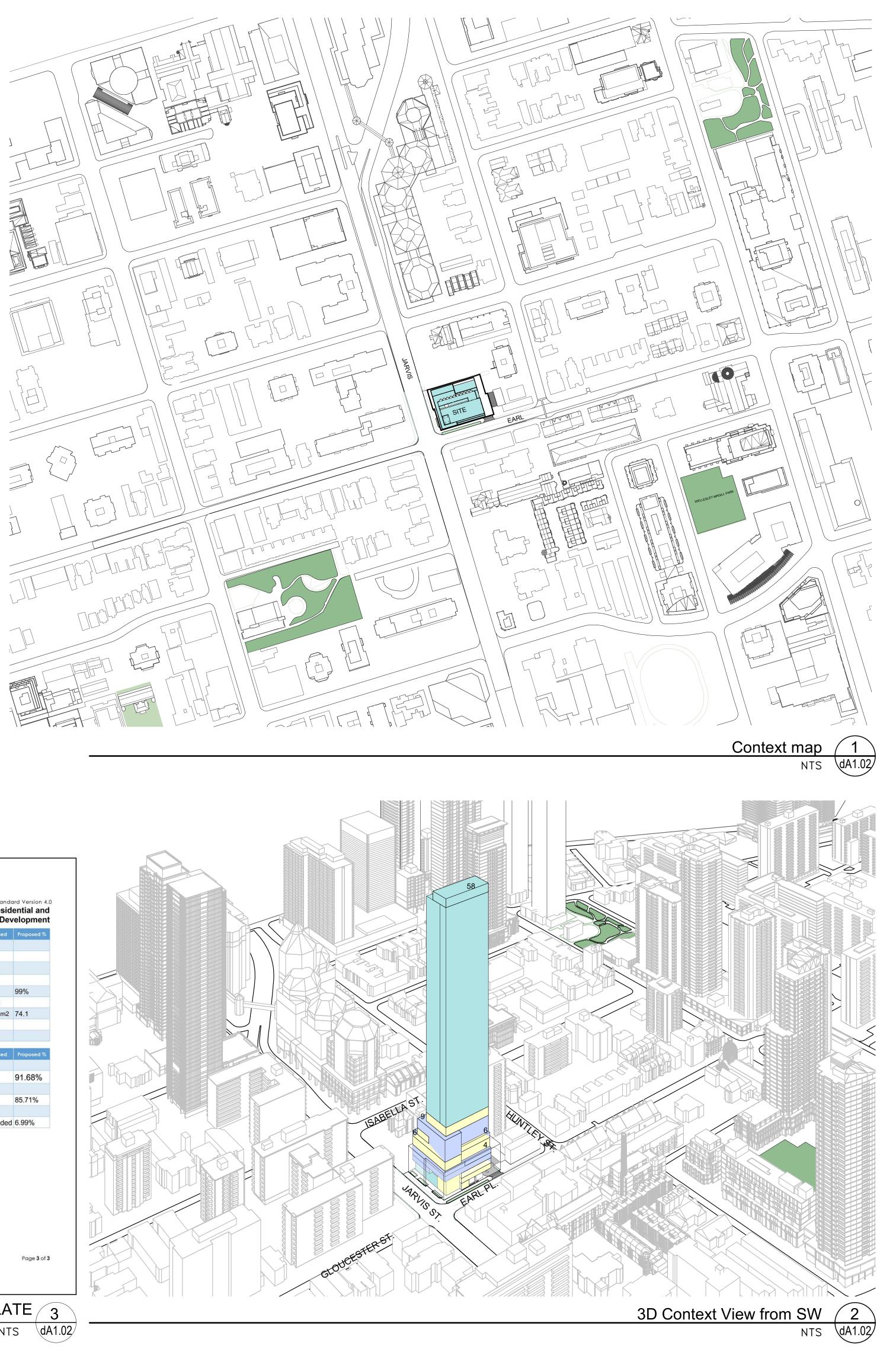
dscaping & E d) shade fro e) shade fro Percentage of Lot A (non-residential only Total number of pla Total number of nat Available Roof Space Available Roof Space Available Roof Space Available Roof Spa

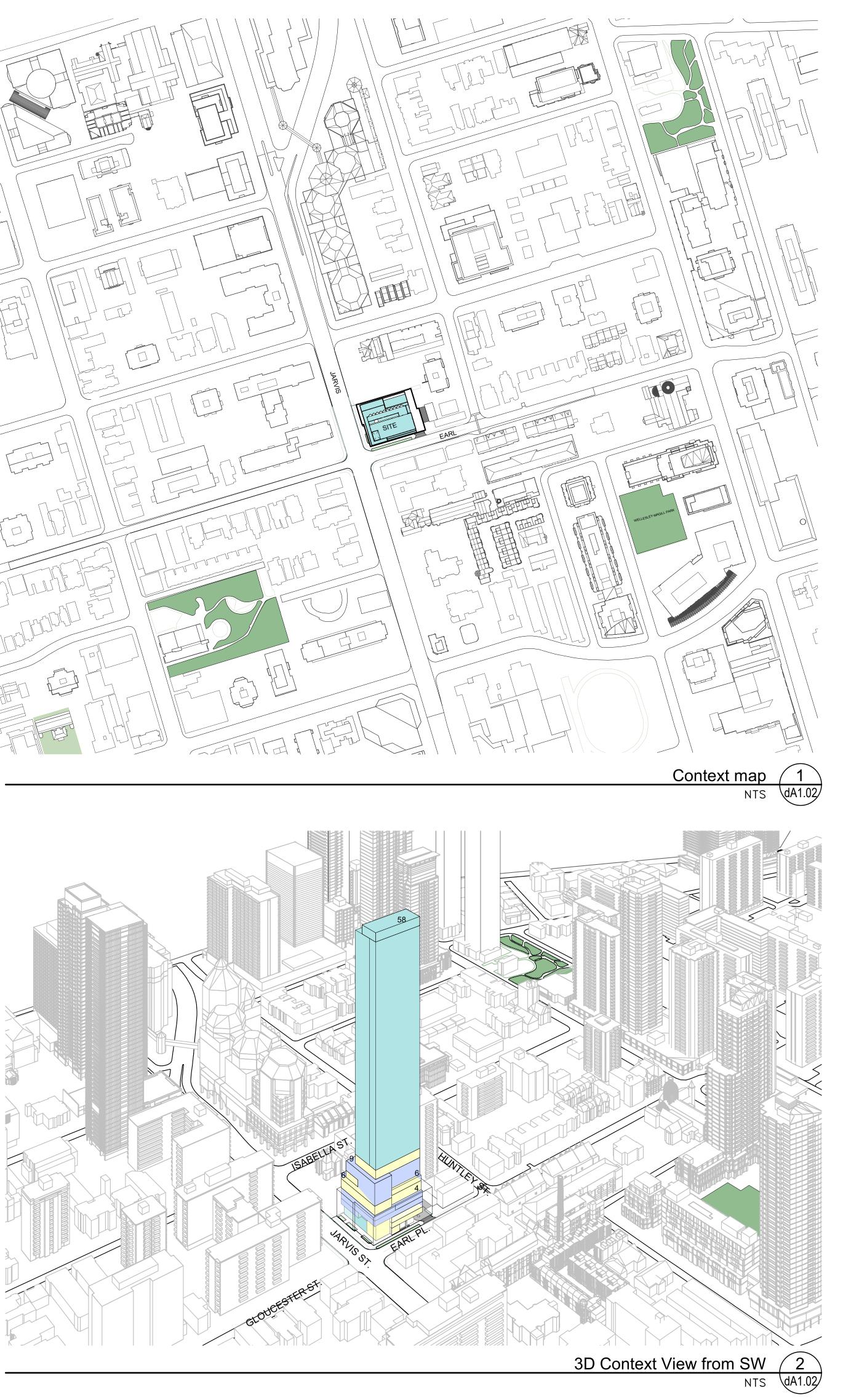
Total area of glazing Total area of treate glazing within 16m o Percentage of glazi a) Visual ma b) non-refle c) Building ir OBC MATRIX 10 NTS dA1.02

l		ate – Toronto ( I to High R Non-Reside	ise Resid	ential and
odiversity		Required	Proposed	Proposed %
rom high-albedo structures				
rom energy generation stru	ictures			
t Area as Soft Landscaping nly)			2.9%	
lants			451	
ative plants and % of total	plants		447	99%
ace (m²)			751.13	
ace provided as Green Ro	of (m²)	450.67 m2	555.37 m2	74.1
ace provided as Cool Roo	f (m²)		0	
ace provided as Solar Pan	els (m²)		0	
rrence		Required	Proposed	Proposed %
ng of all elevations within 1	6m above grade		973	
red glazing (minimum 85% ( n above grade) (m²)	of total area of	778.4	892	91.68%
zing within 16m above gra	de treated with:			
narkers			834	85.71%
ective glass				
integrated structures			68 shaded	6.99%

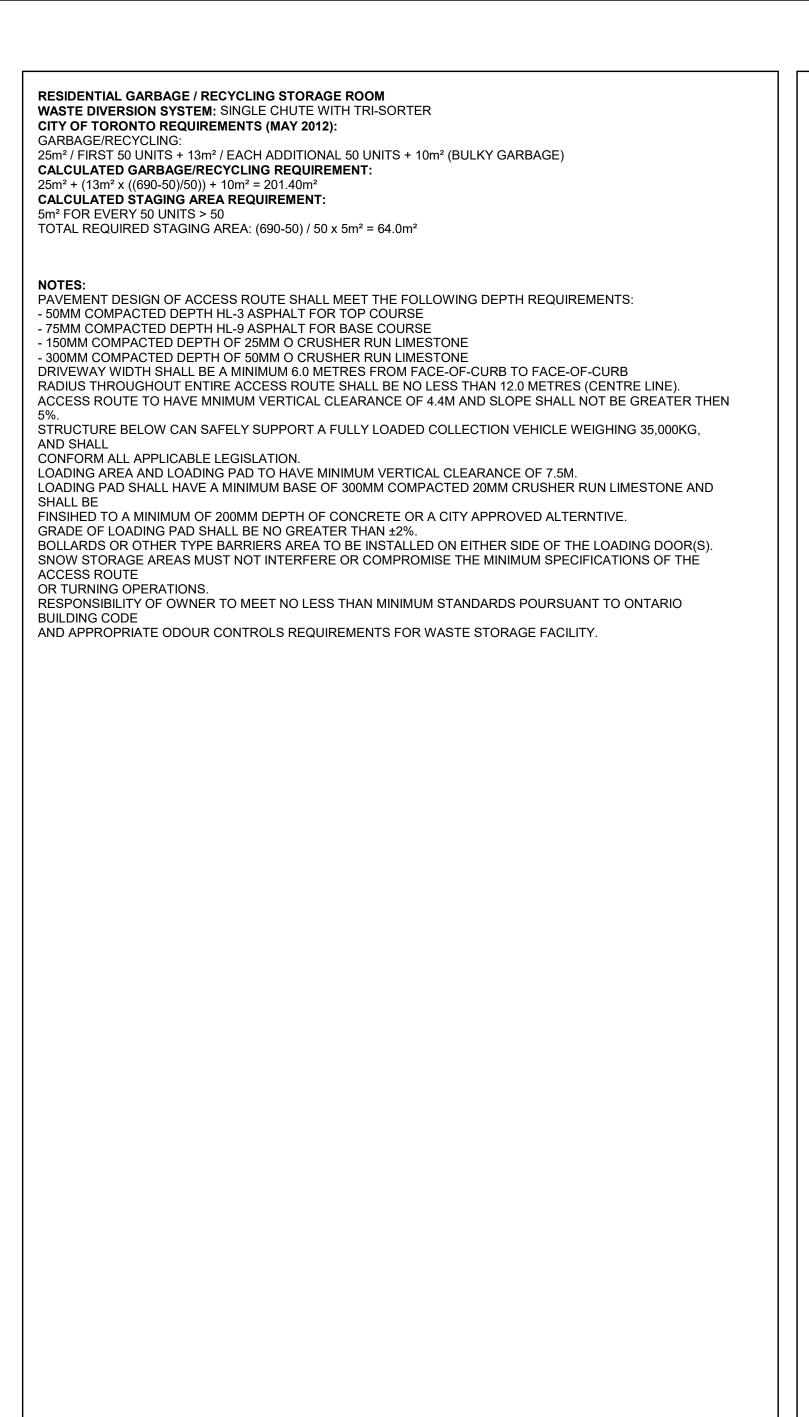








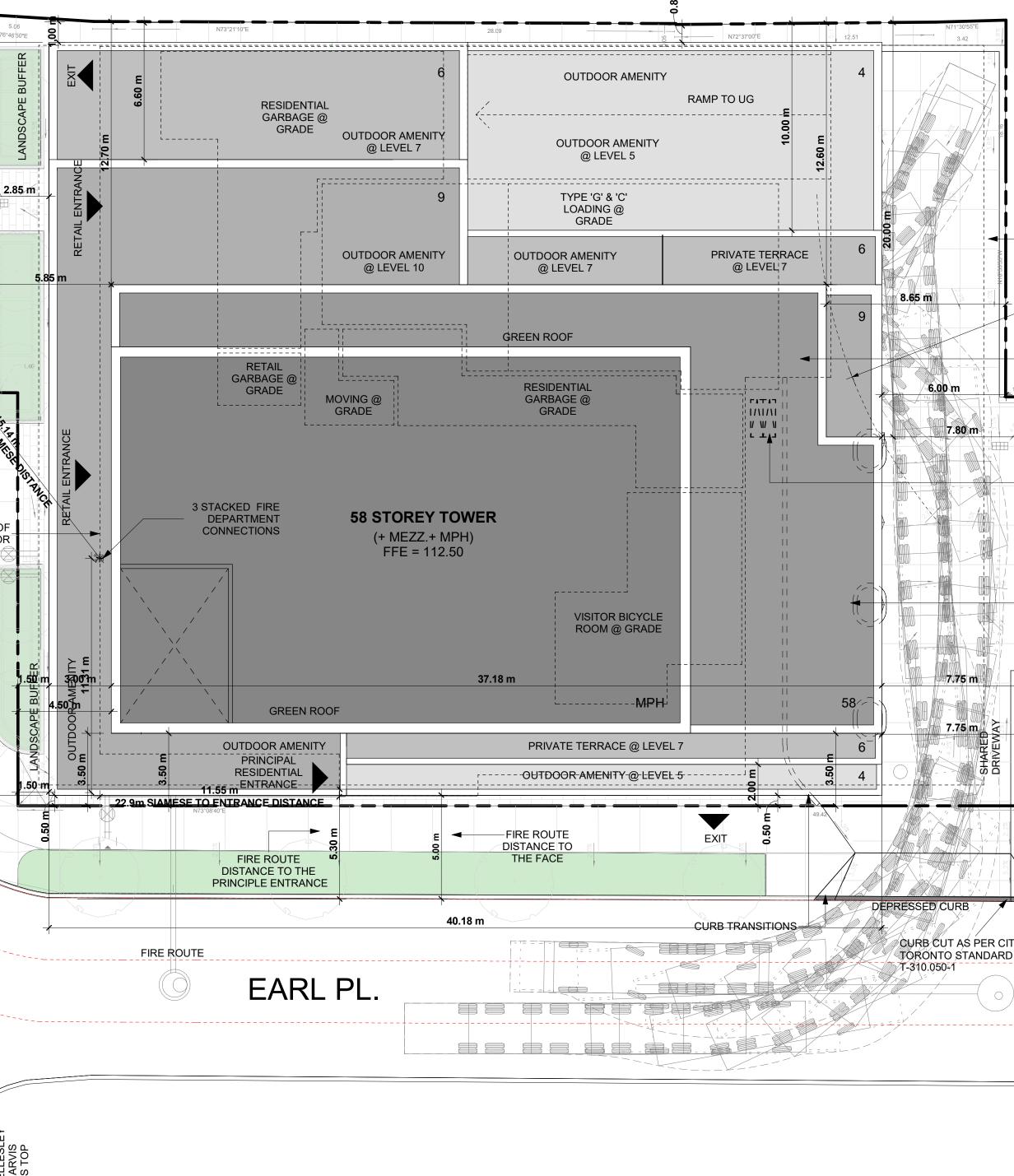
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ASSOC ASSOC FROM HITECTS Z ACENCE 3040 SEAL MUST BE SIGNED TO BE VALID
KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400 Toronto, ON M3J 0H1
Revisions:       No.:     Revision:       Date:
No.:01 Issued for: Rezoning & SPA Submission July 15, 2022
Client:
Originate
561 JARVIS, 102-120 EARL TORONTO
Drawing Title:
Context Map, 3D Context, Project Statistics
Scale: 1 : 2000
Drawn by: S.V
Checked by: R.P Project No.:
22-054 Date: July 15, 2022
Drawing No.:
dA1.02



## GENERAL NOTES 10

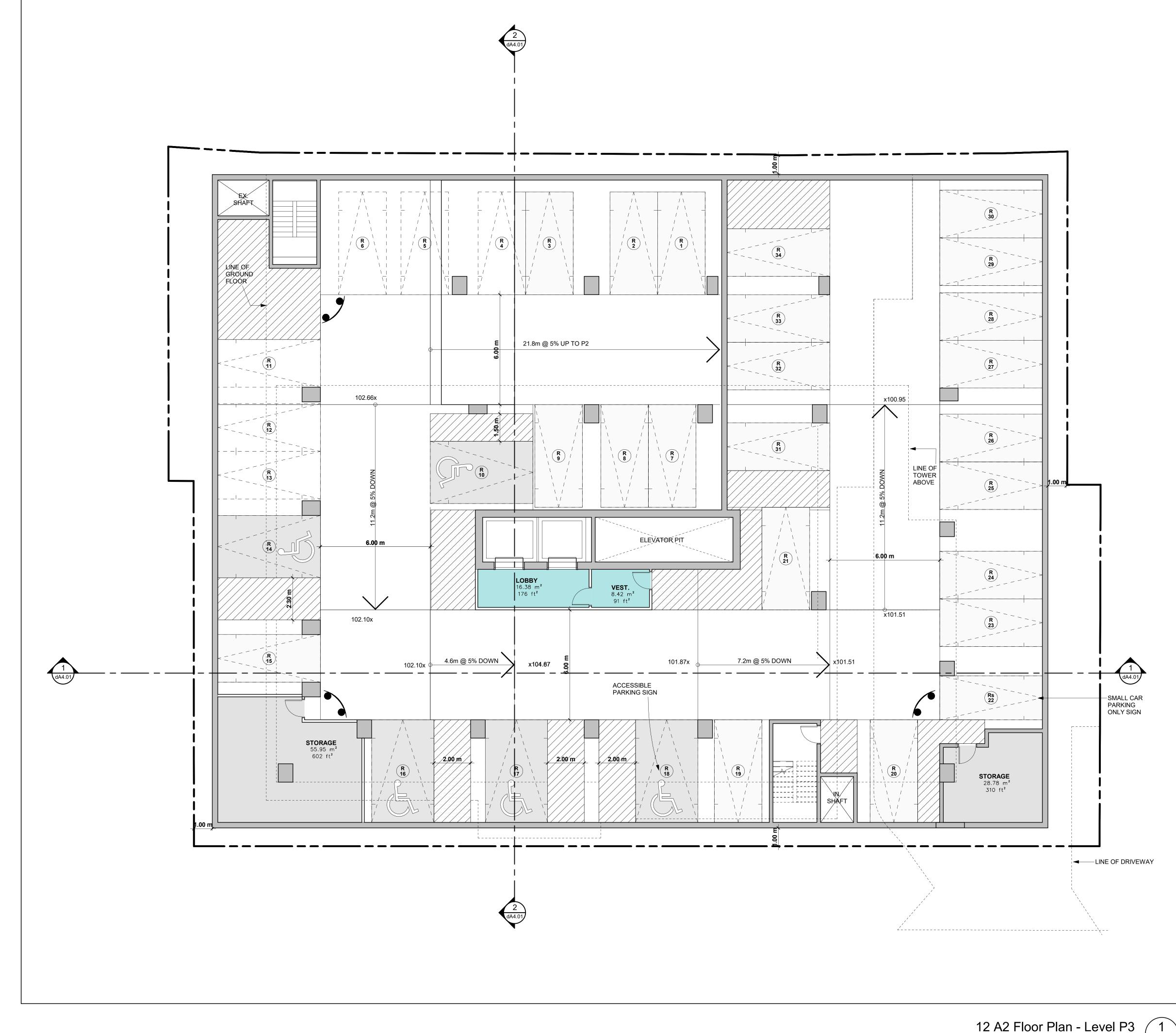
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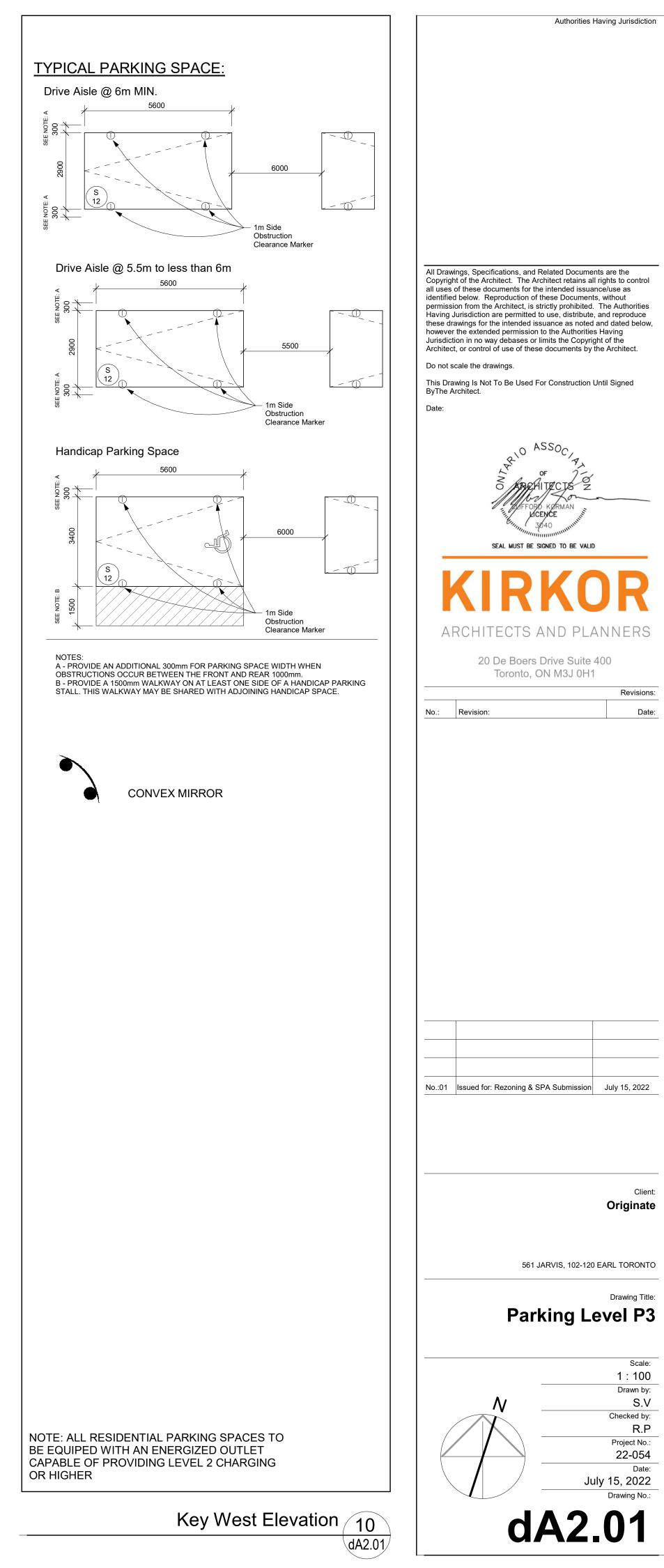
& BL STA S RVIS 10 PUBLICLY ĘXISTING SHORT-TERM BICYCLE PARKING SPACES 63 LINE OF GROUND FLOOR 230m TO WELLESL & JARVIS BUS TOP 650m TO WELLESLEY SUBWAY STATION

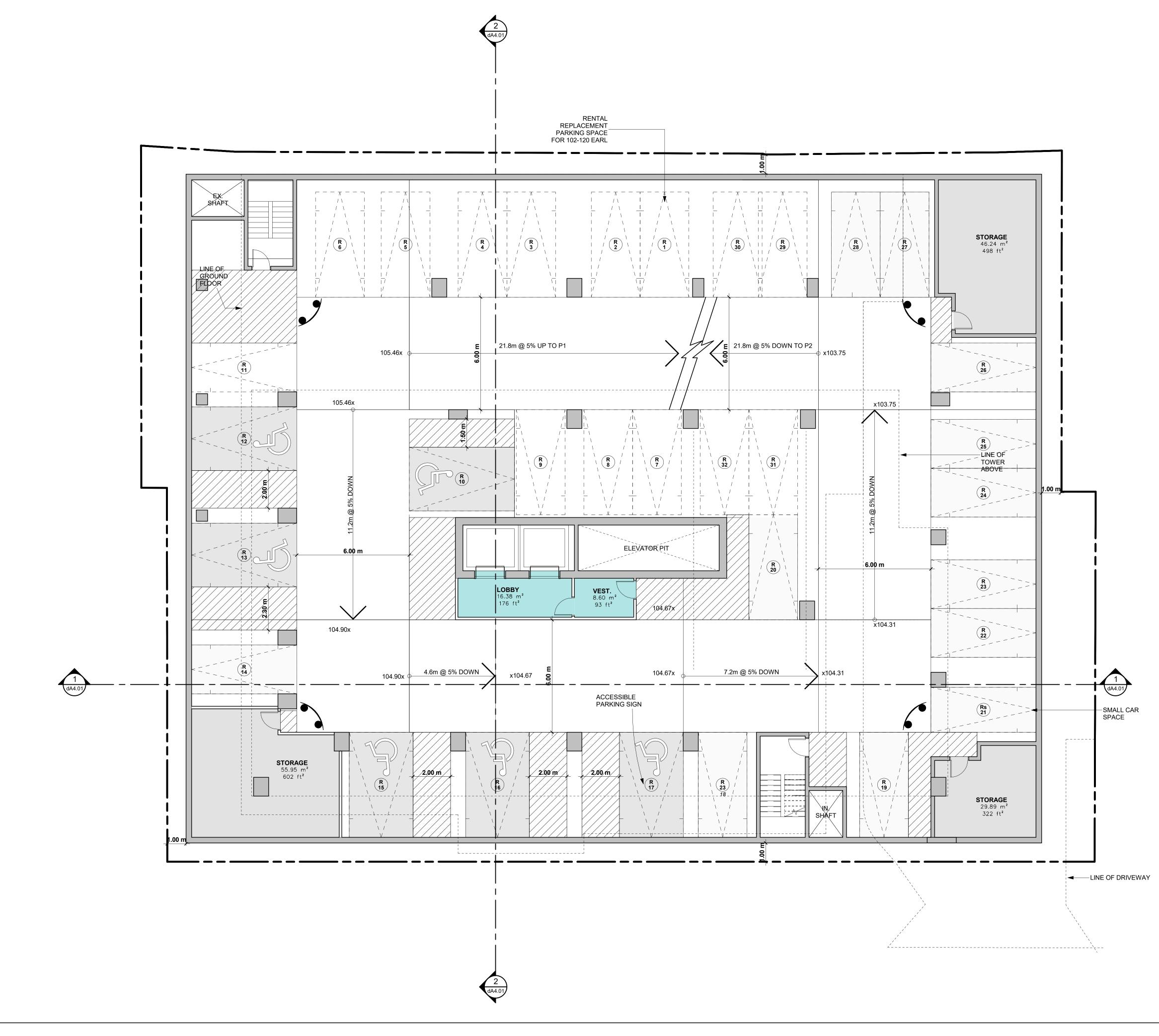


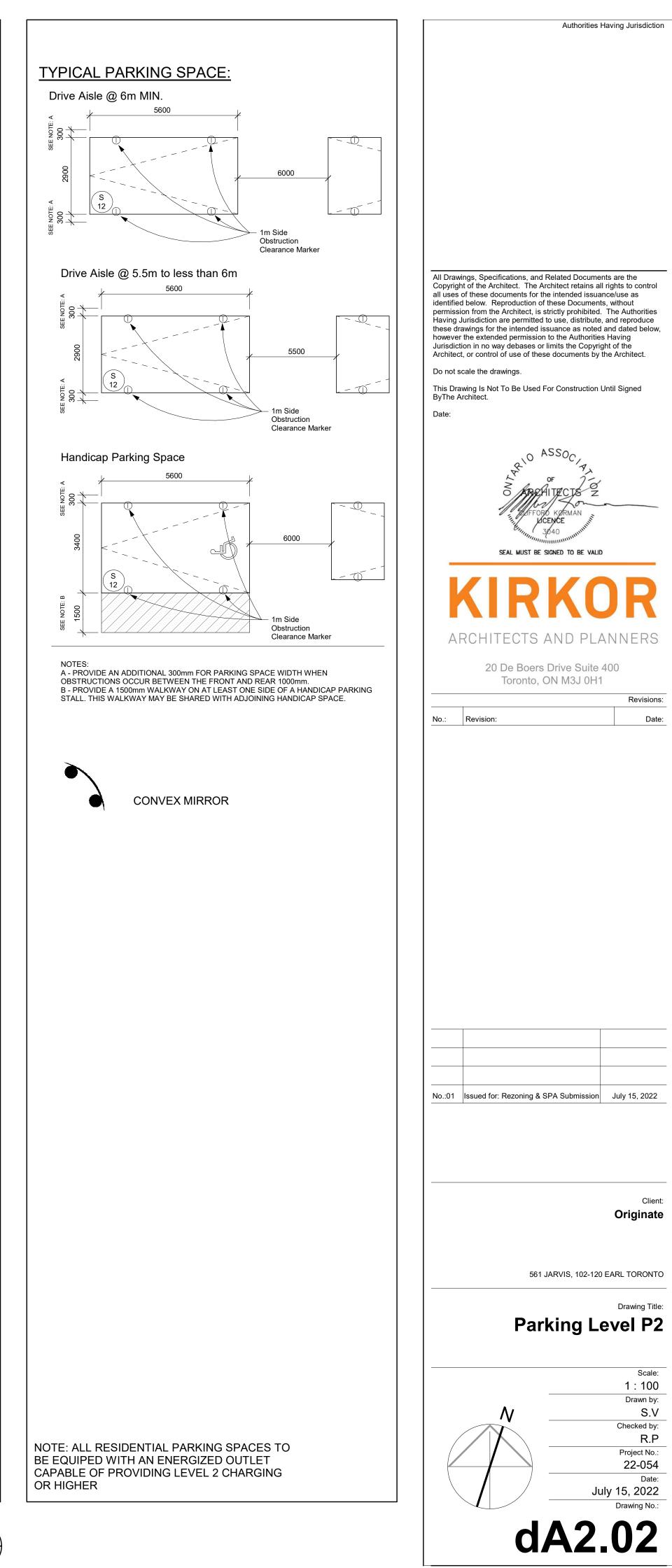
0.80 m

		Authorities Having Jurisdiction
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	HUNTLEY BUILDING 20 STOREY	SEAL MUST BE SIGNED TO BE VALID
LINE OF GROUND FLOOR		ARCHITECTS AND PLANNERS 20 De Boers Drive Suite 400 Toronto, ON M3J 0H1   Revision:  No.: Revision: Date:
BUILDING OUTLINE AT GROUND FLOOR		
	BUS STOP	No.:01 Issued for: Rezoning & SPA Submission July 15, 2022
EXISTING SIDEWALK 650M TO SHEF SUBWAY CURB TRANSITIONS TY OF	RBOURNE	Client: Originate 561 JARVIS, 102-120 EARL TORONTO Drawing Title: Site Plan
	Site Plan       1         1 : 150       1	Scale: 1 : 150 Drawn by: S.V Checked by: R.P Project No.: 22-054 Date: July 15, 2022 Drawing No.: Checked by: R.P Project No.: 22-054 Date: July 15, 2022 Drawing No.:

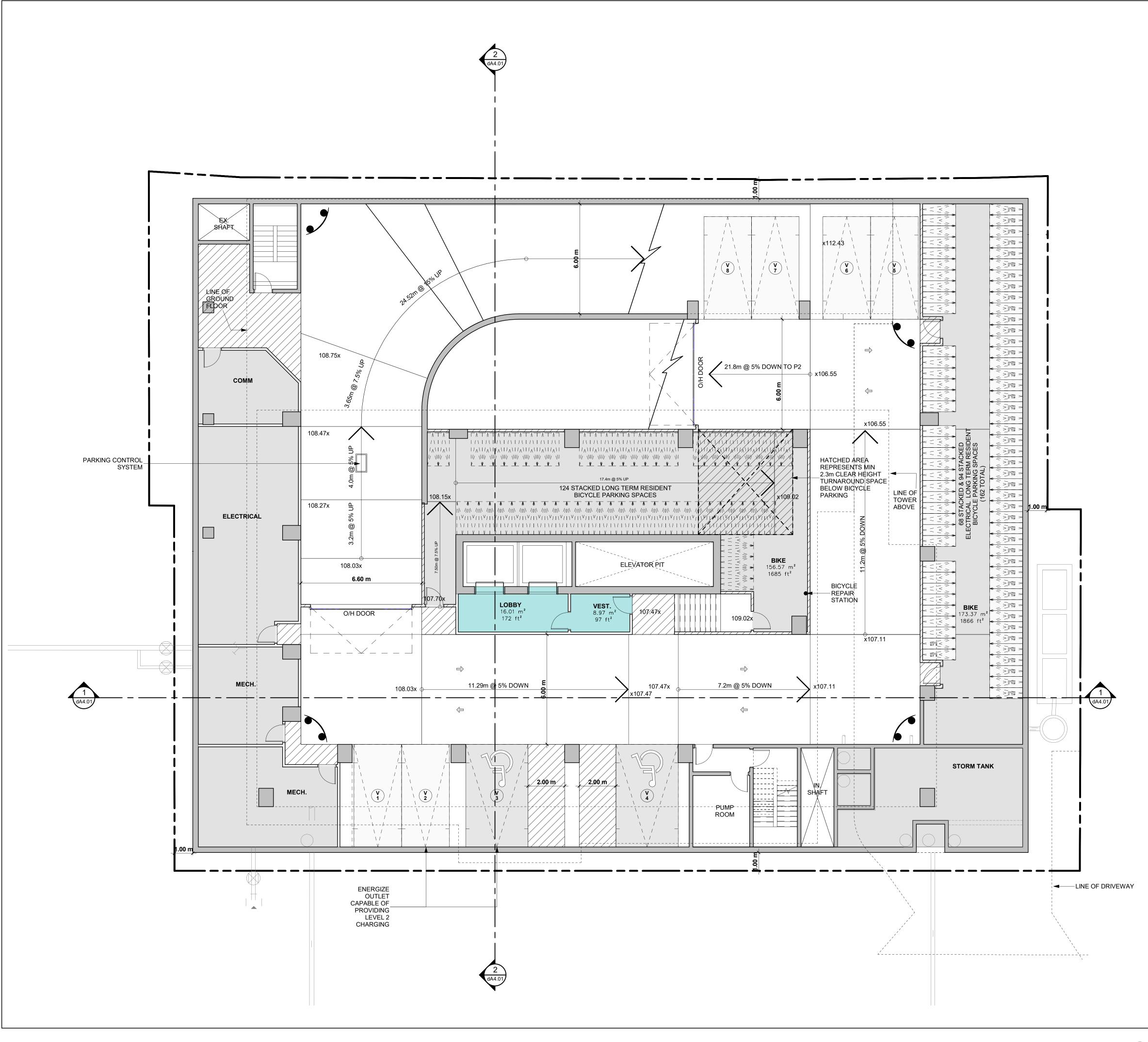


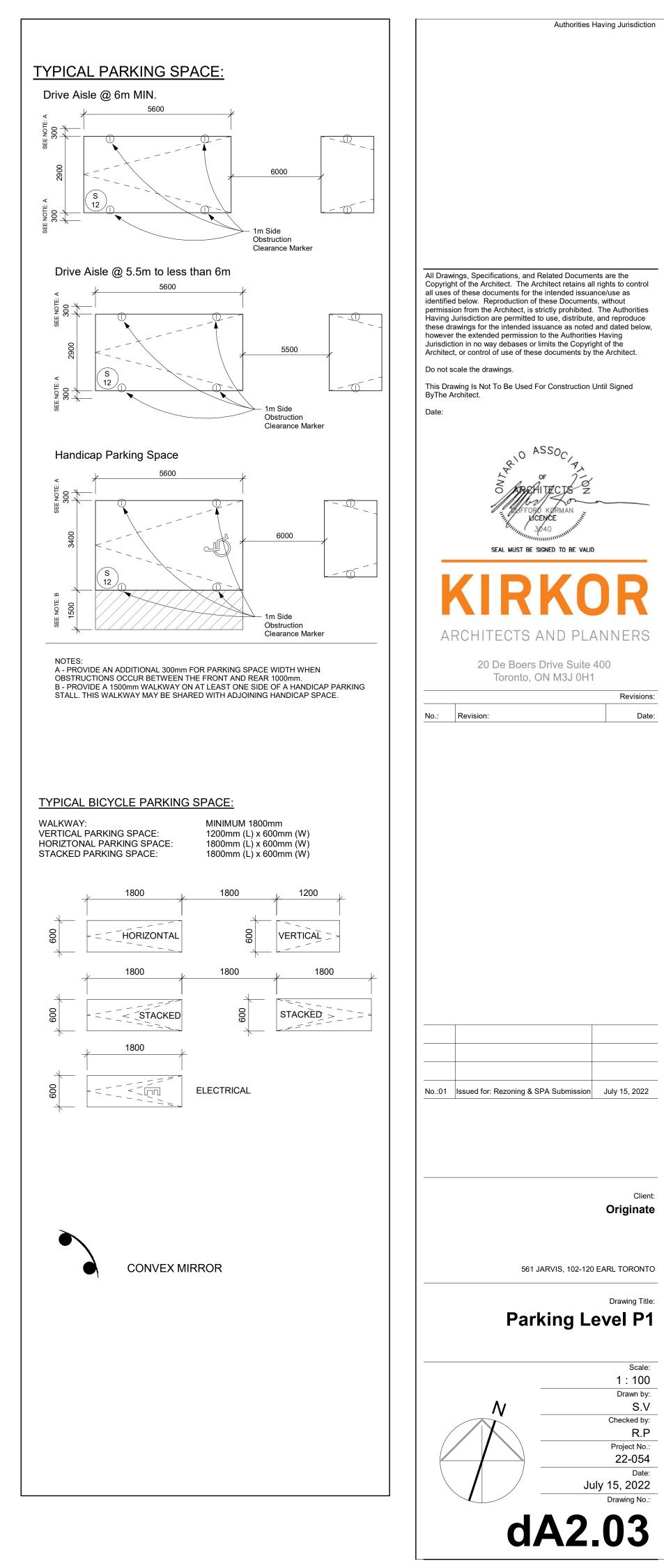


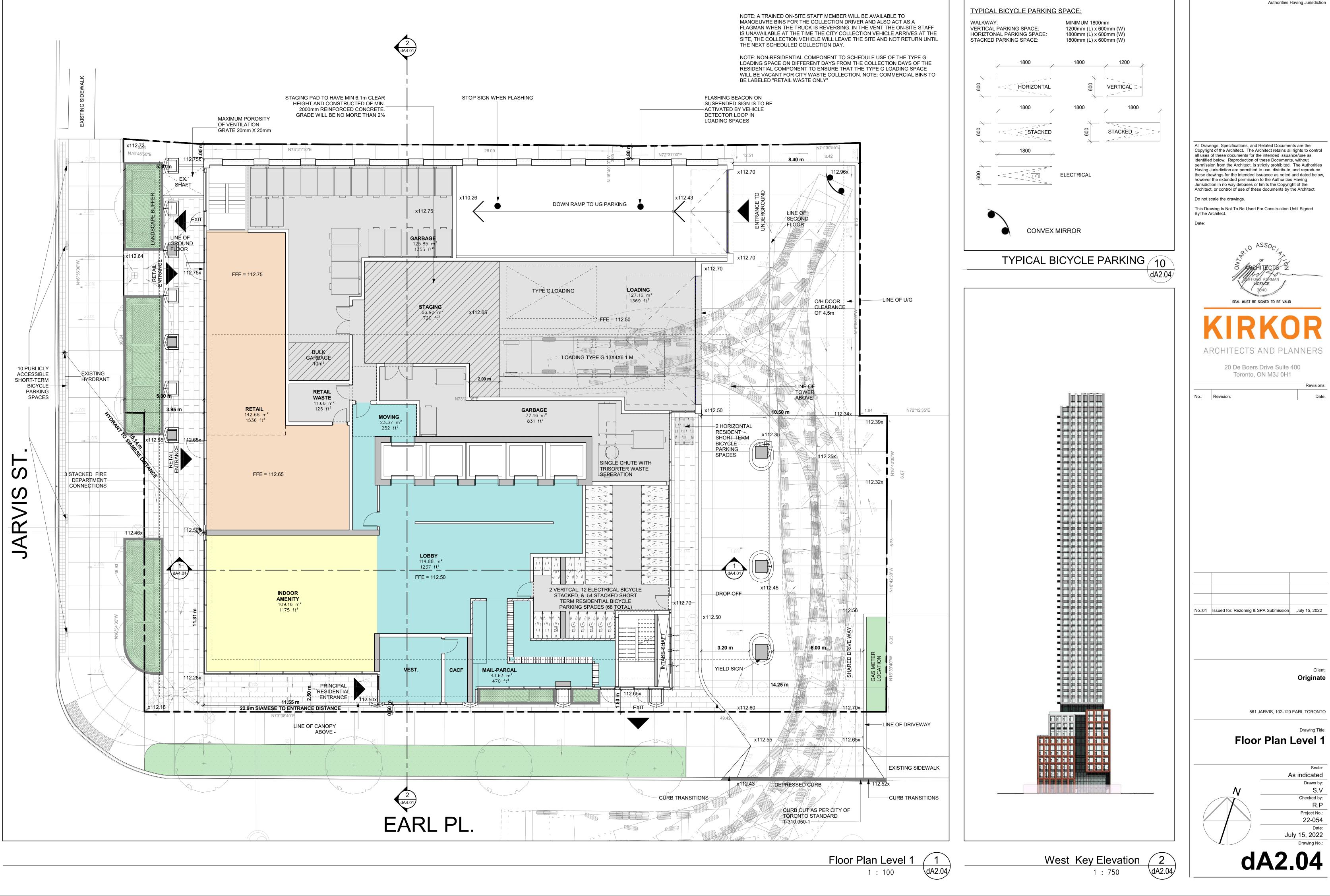


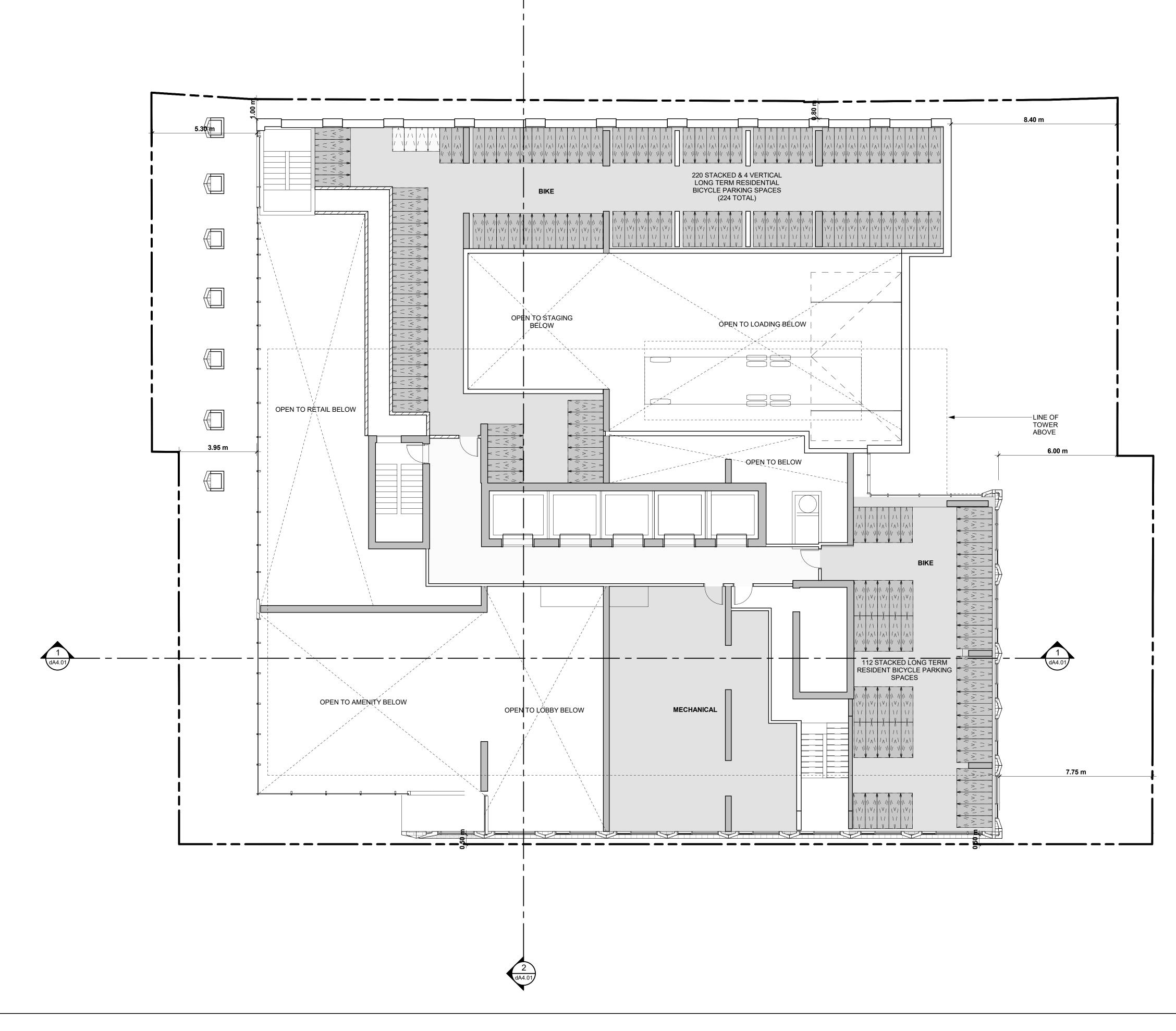


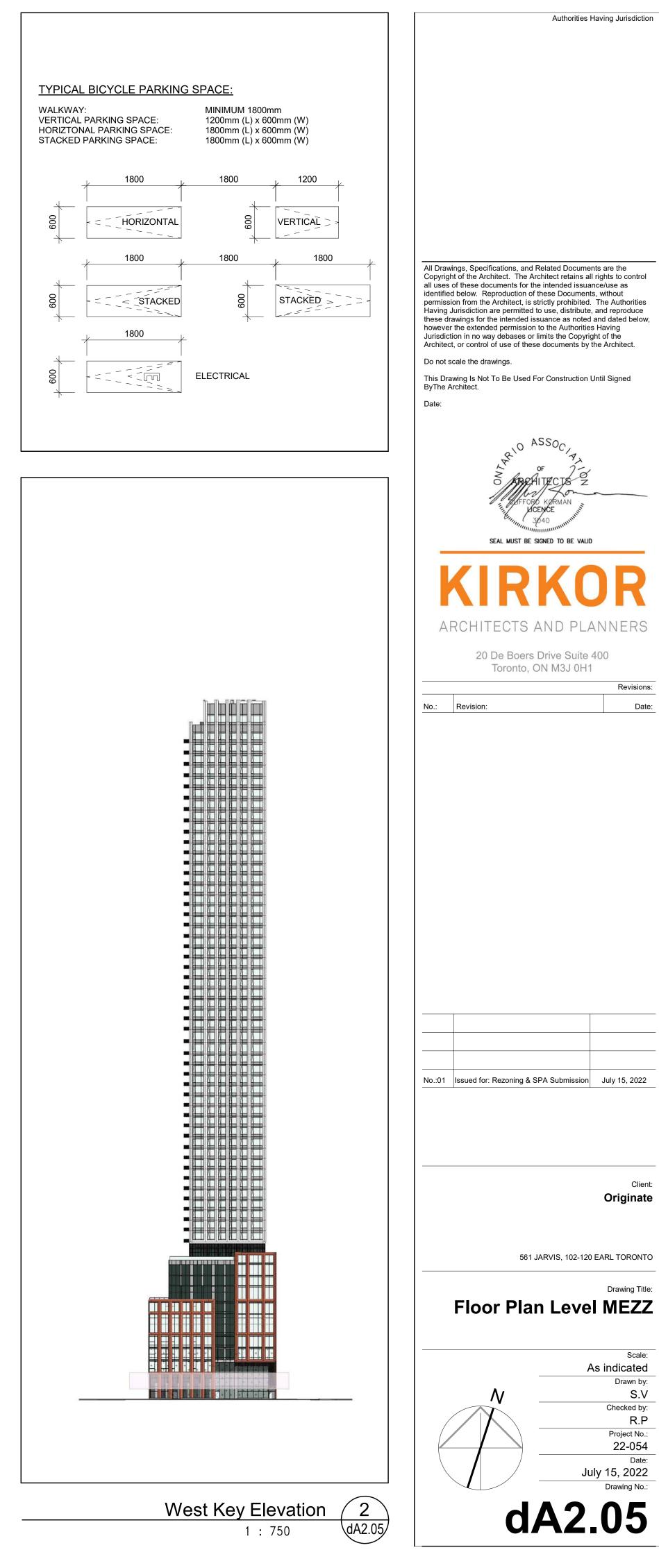
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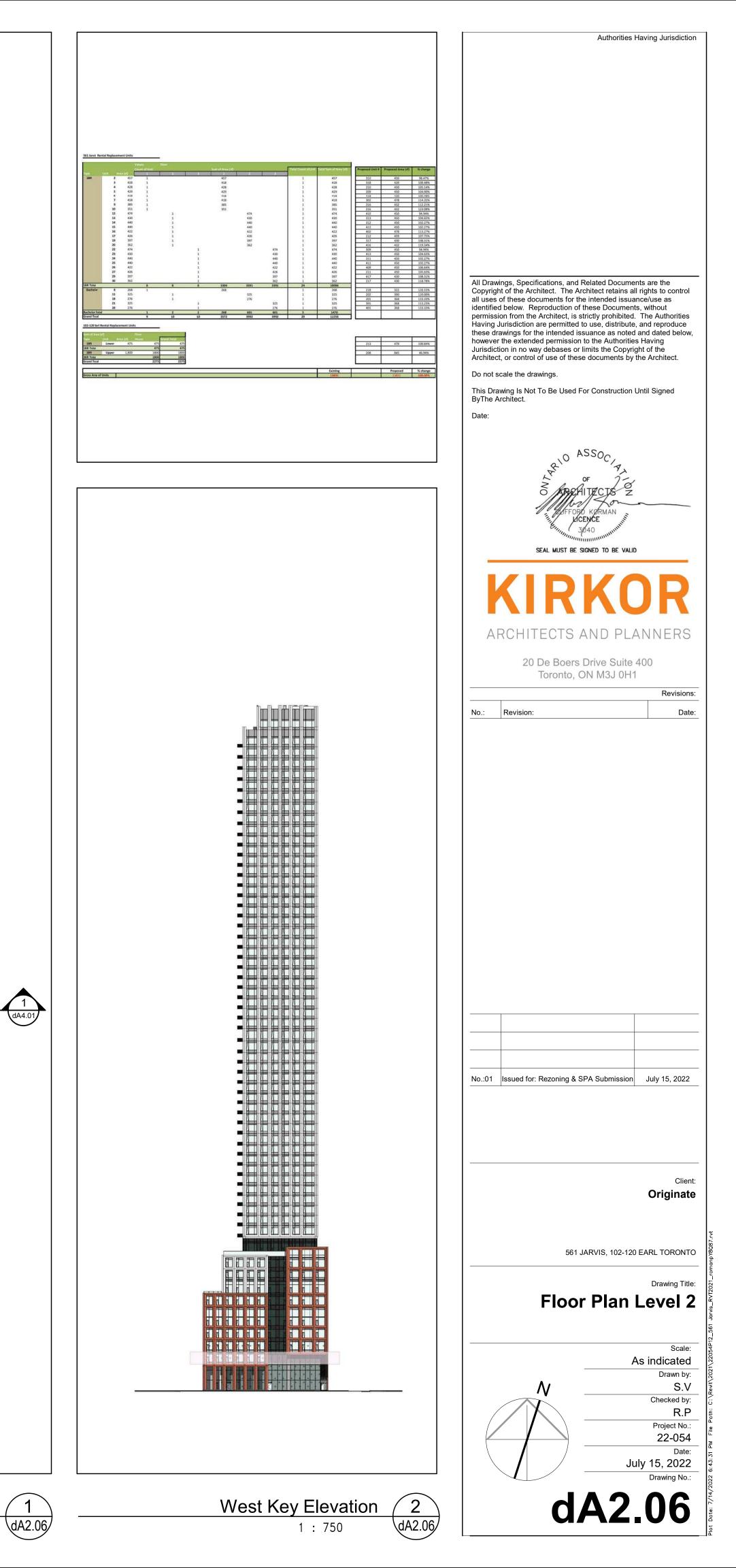


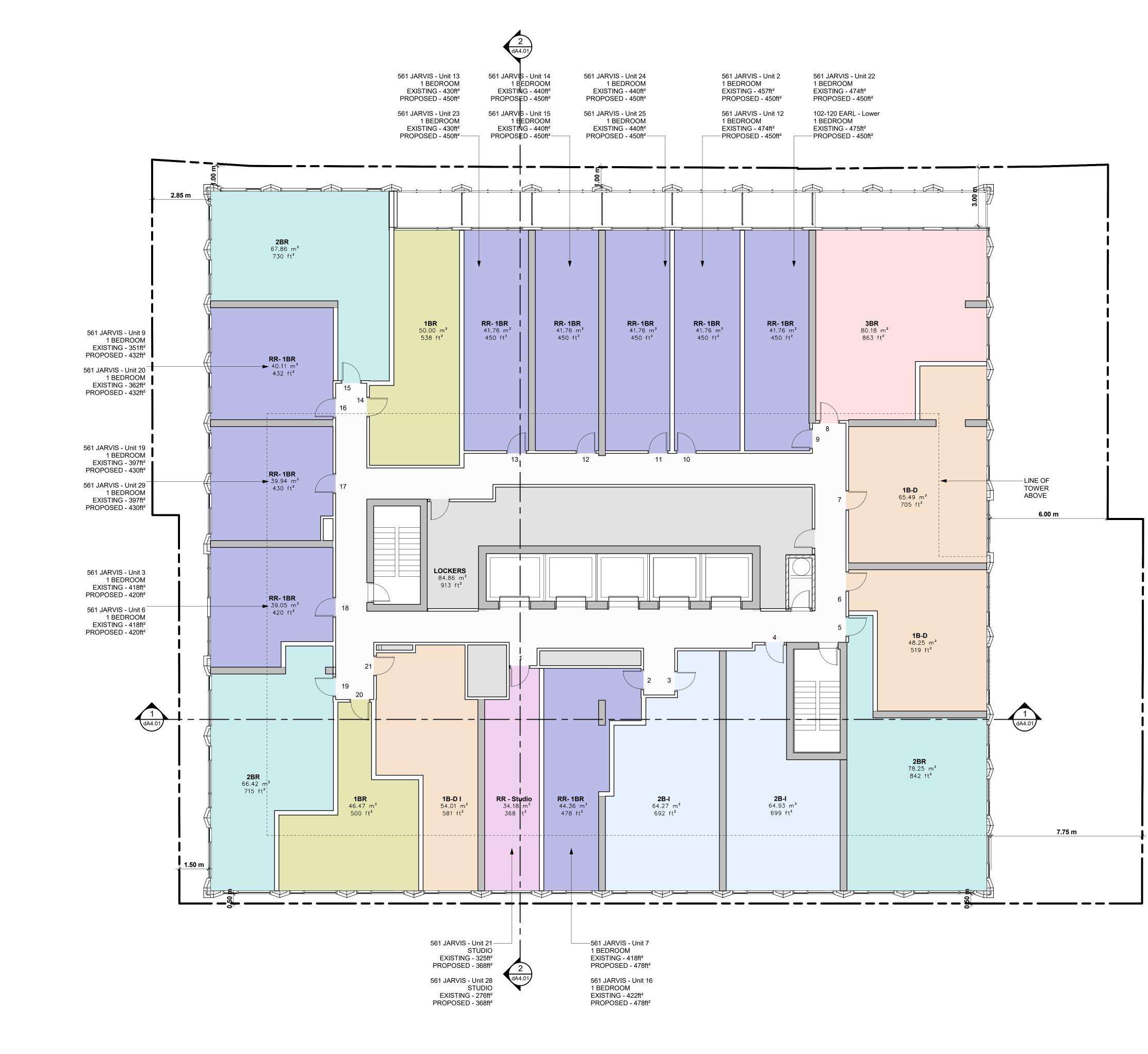




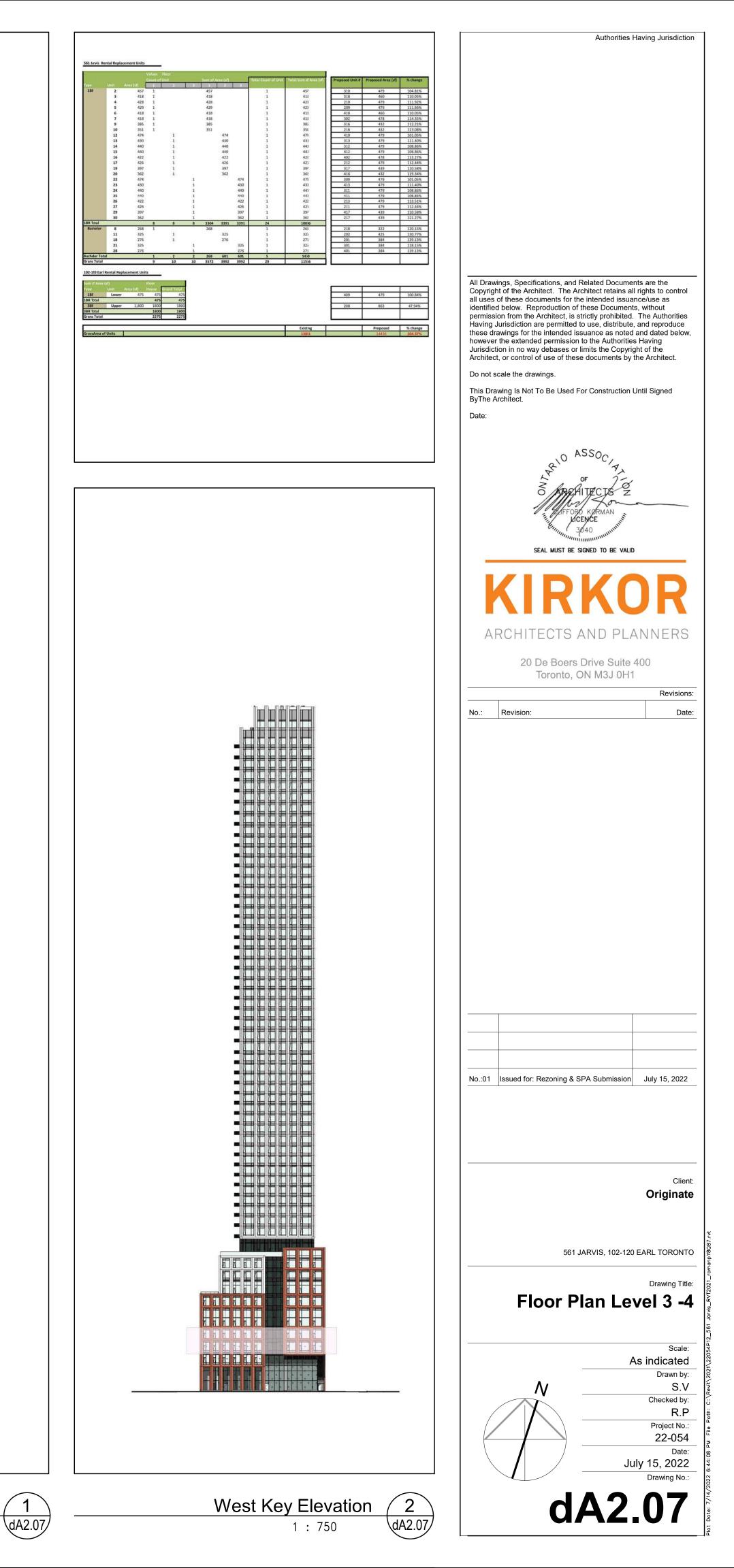


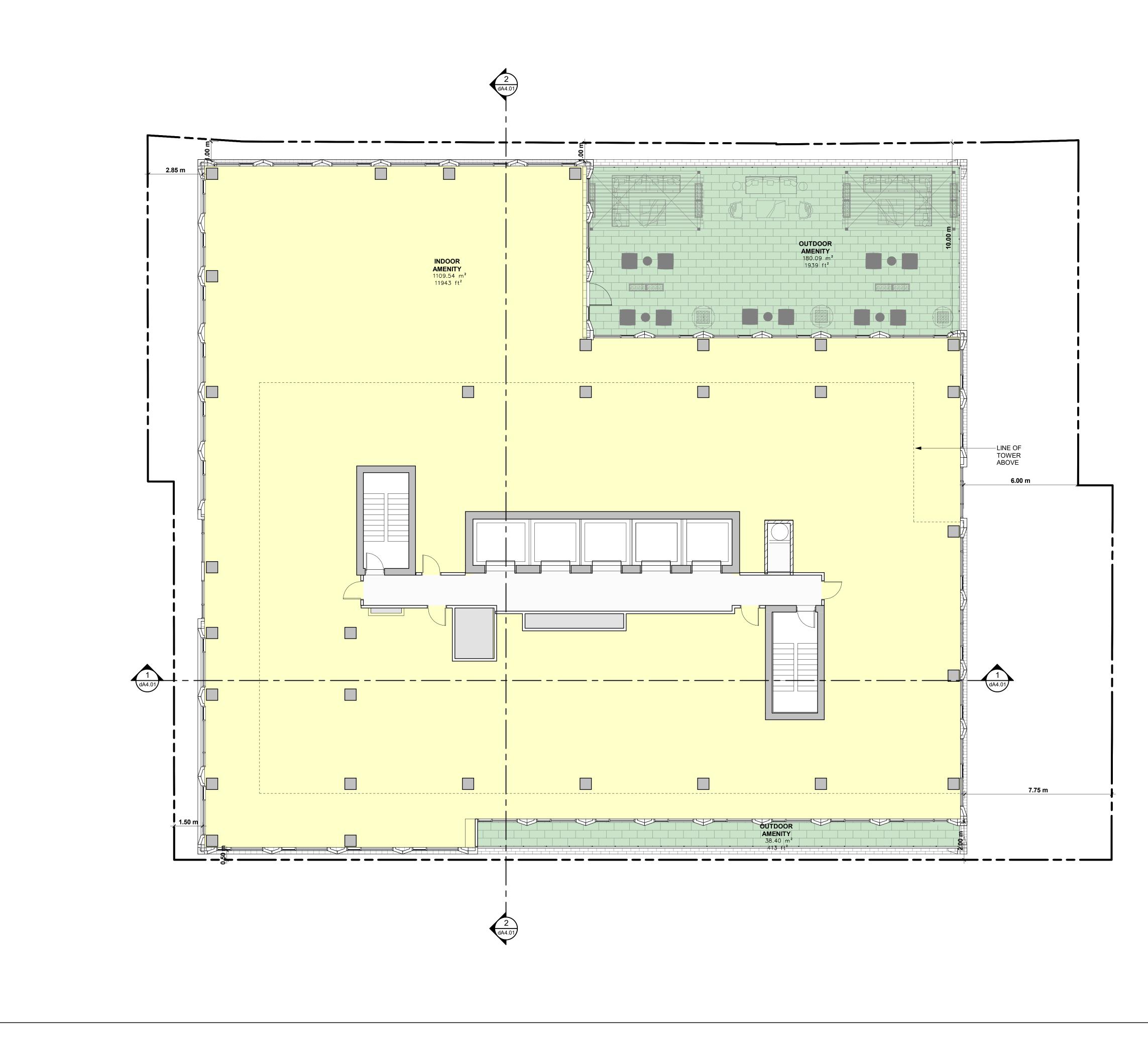


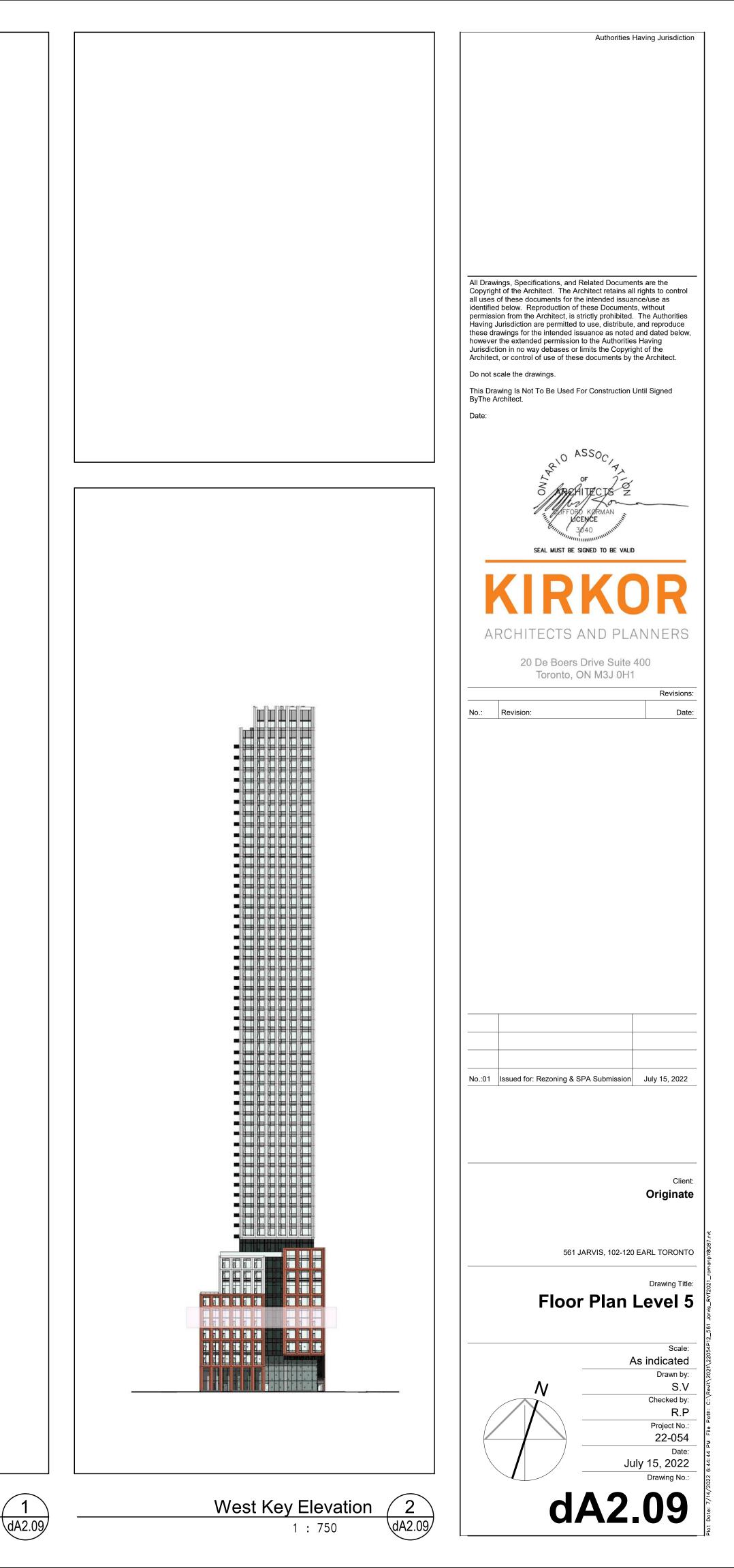




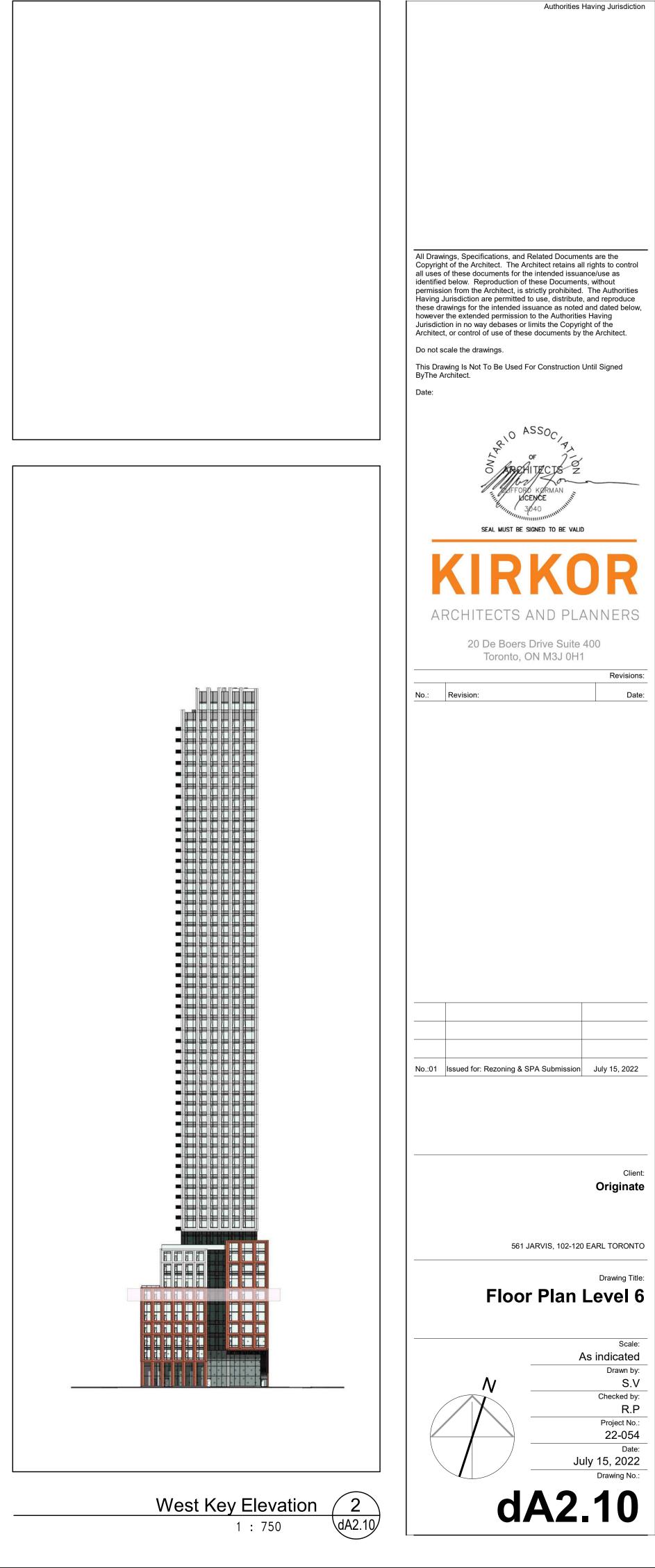
12 A2 Floor Plan - Level 3 - 4





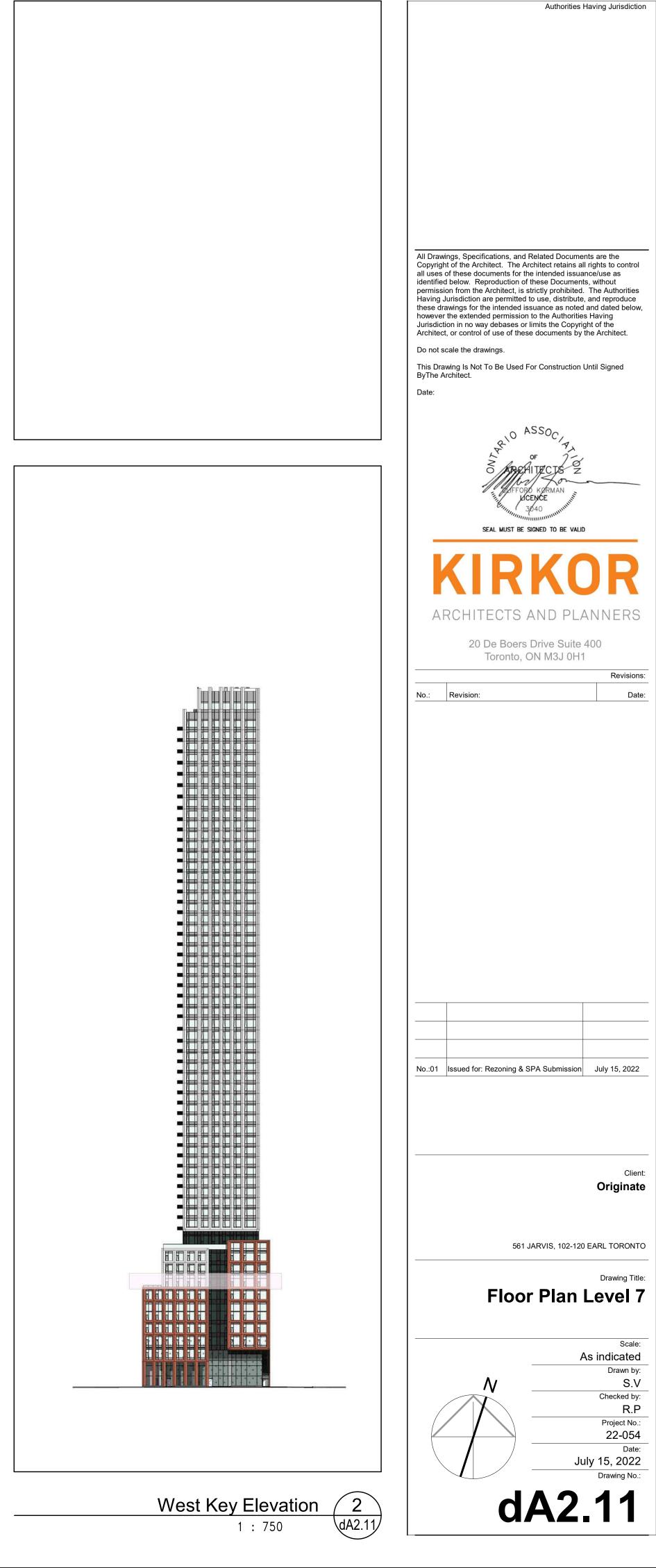




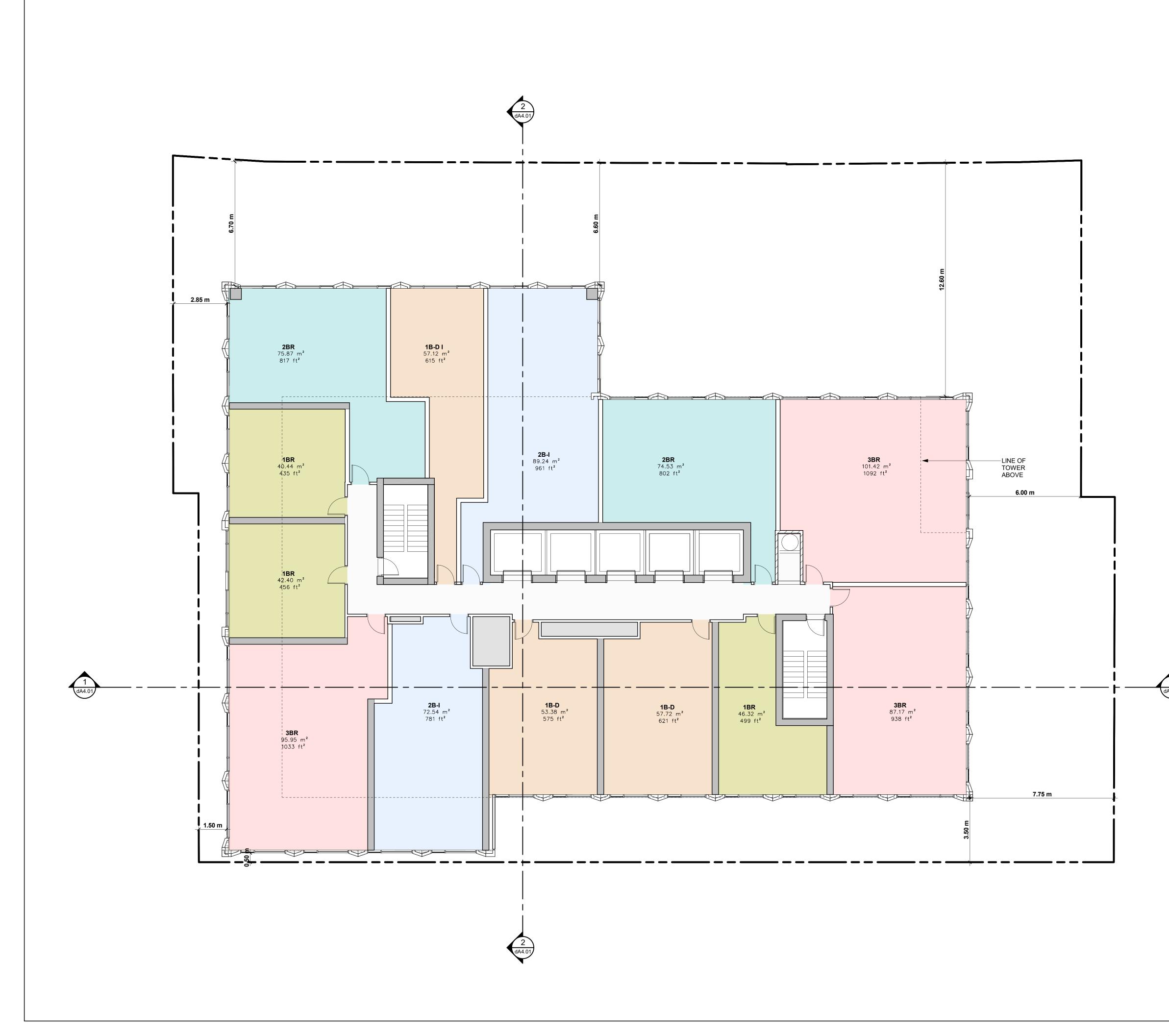


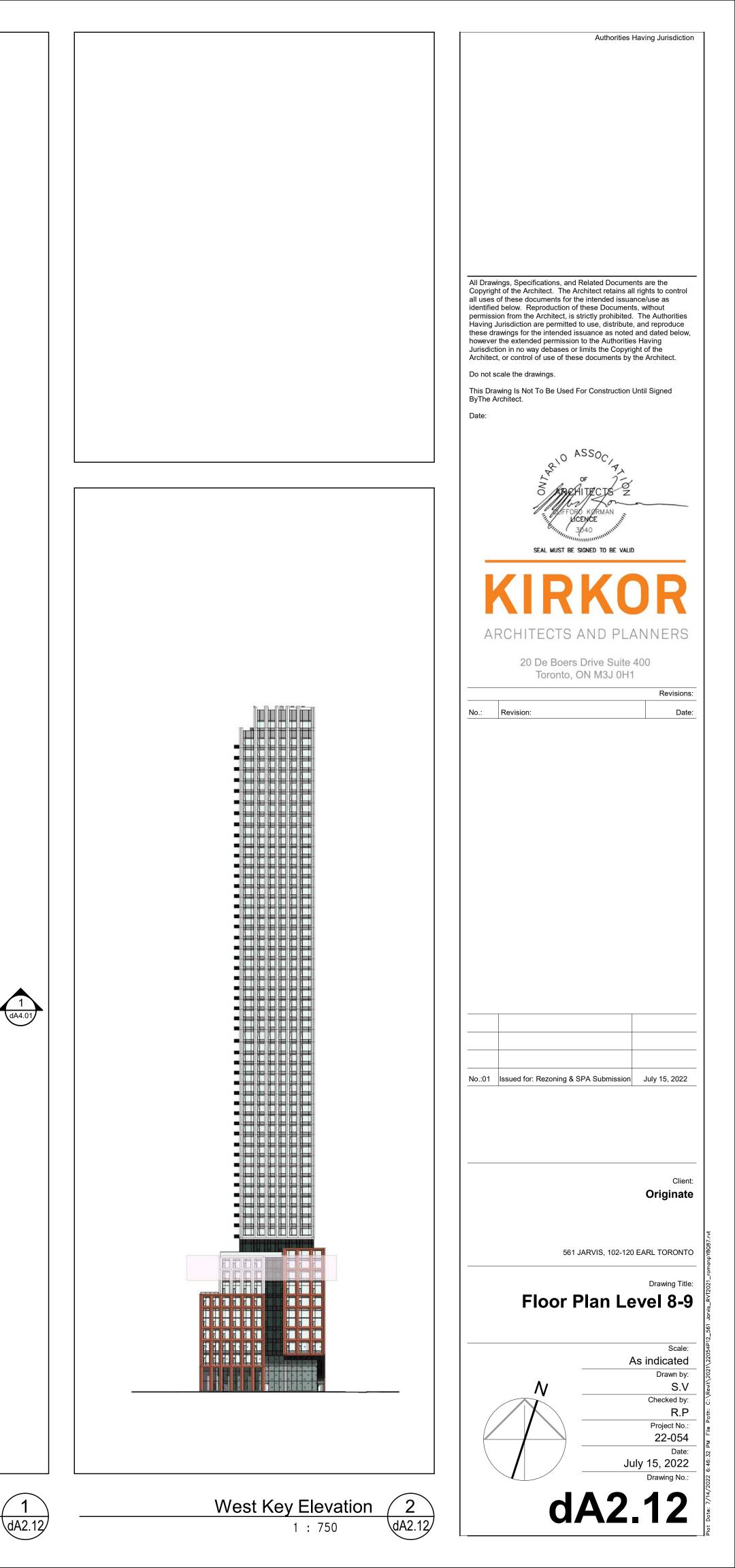


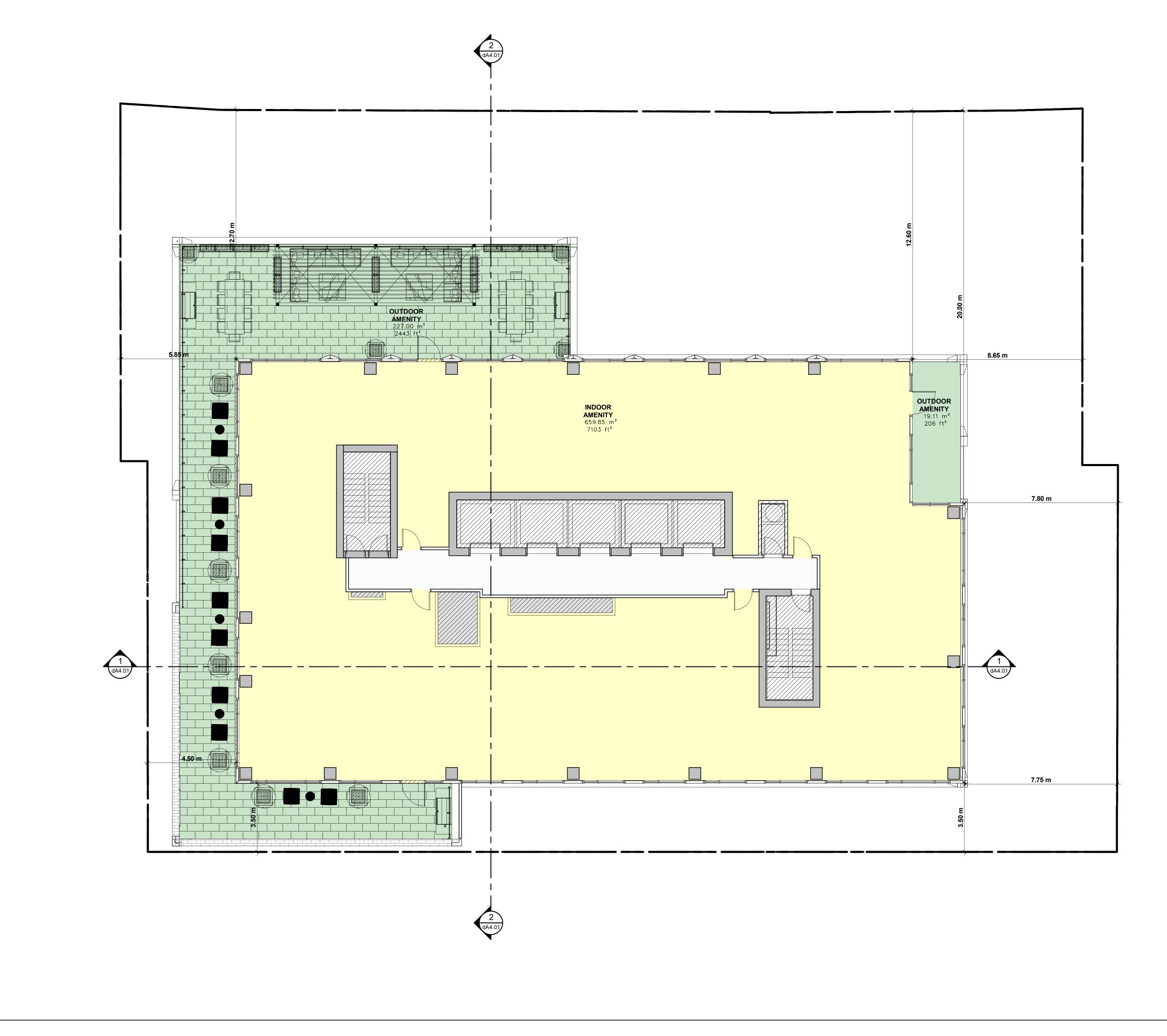
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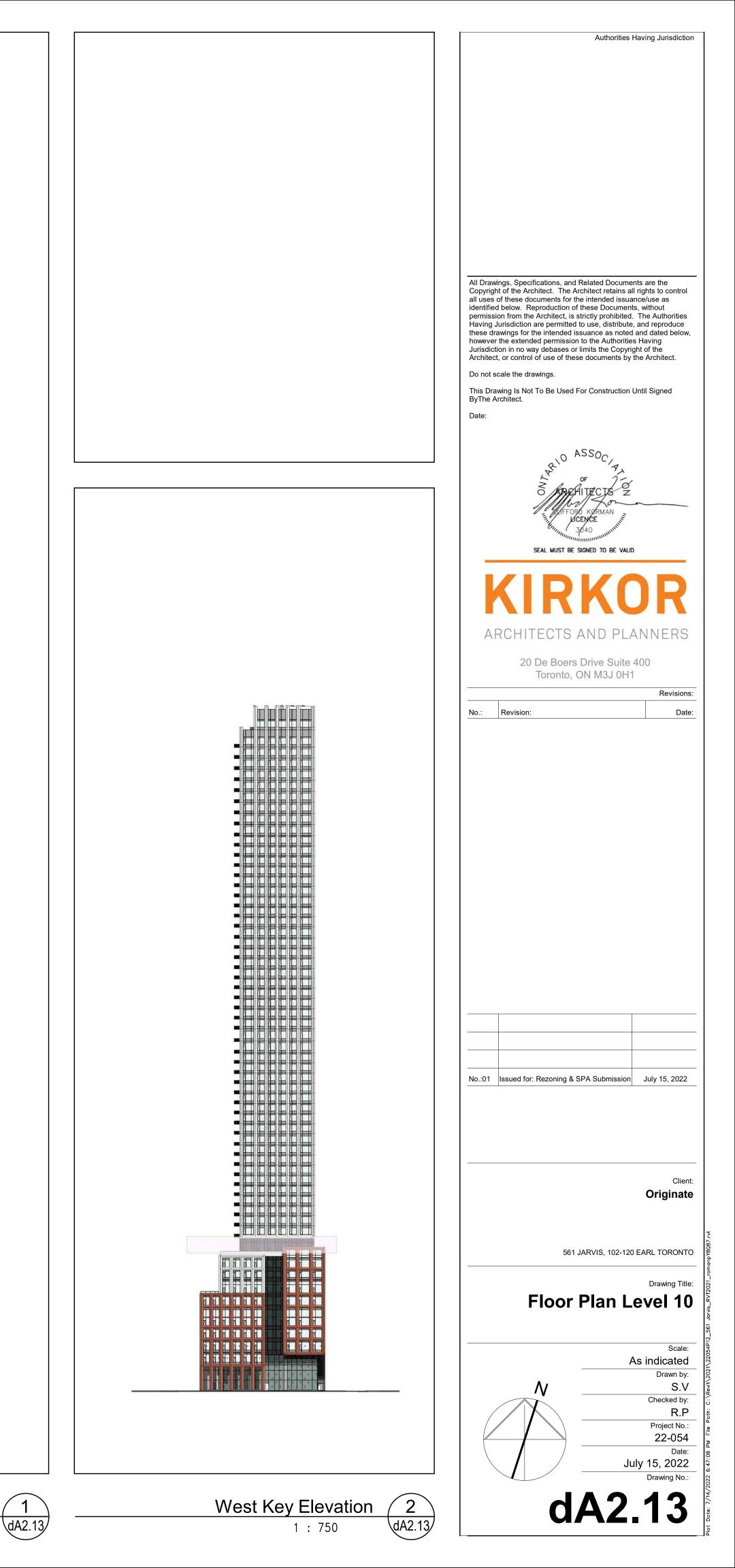


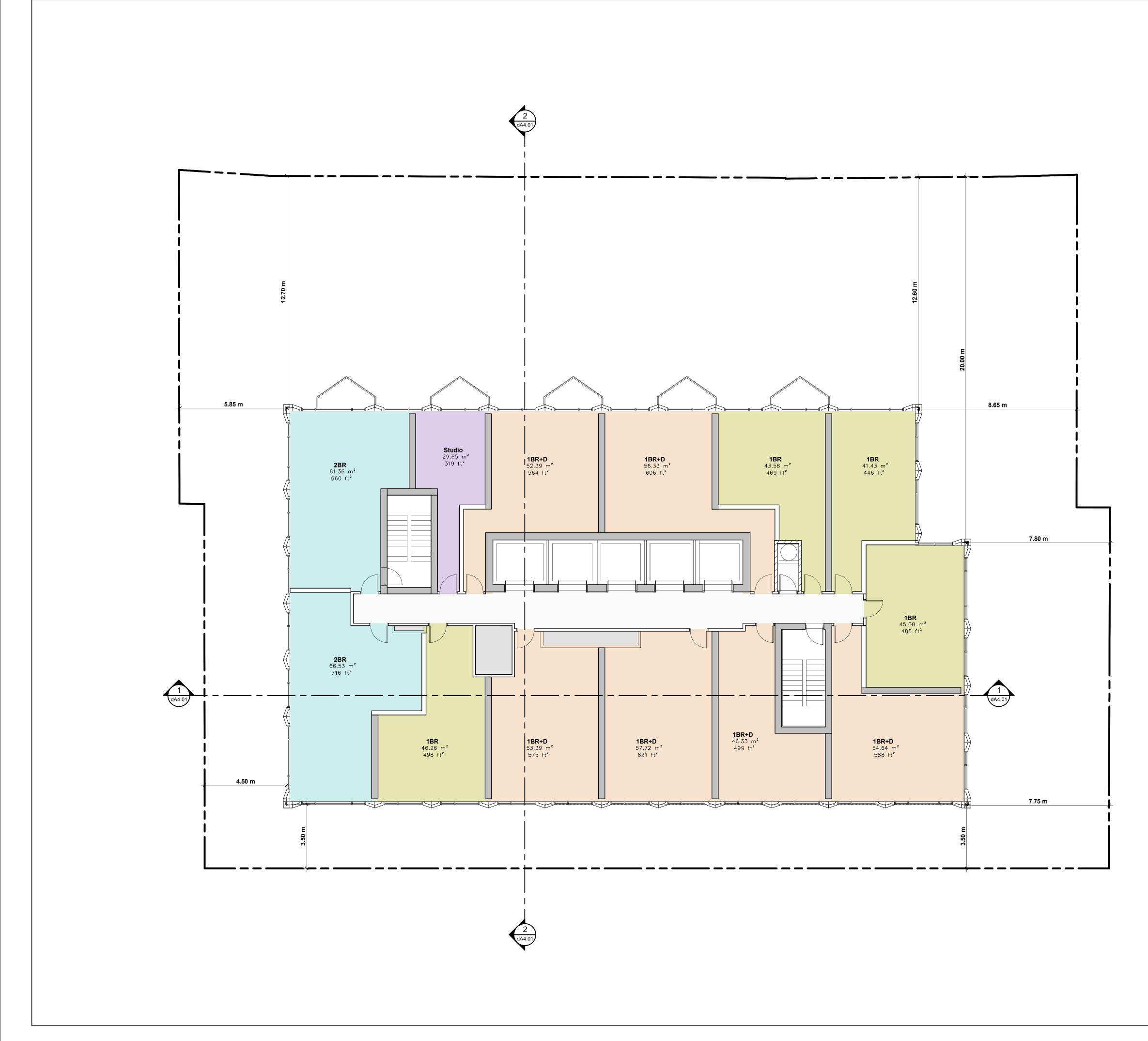
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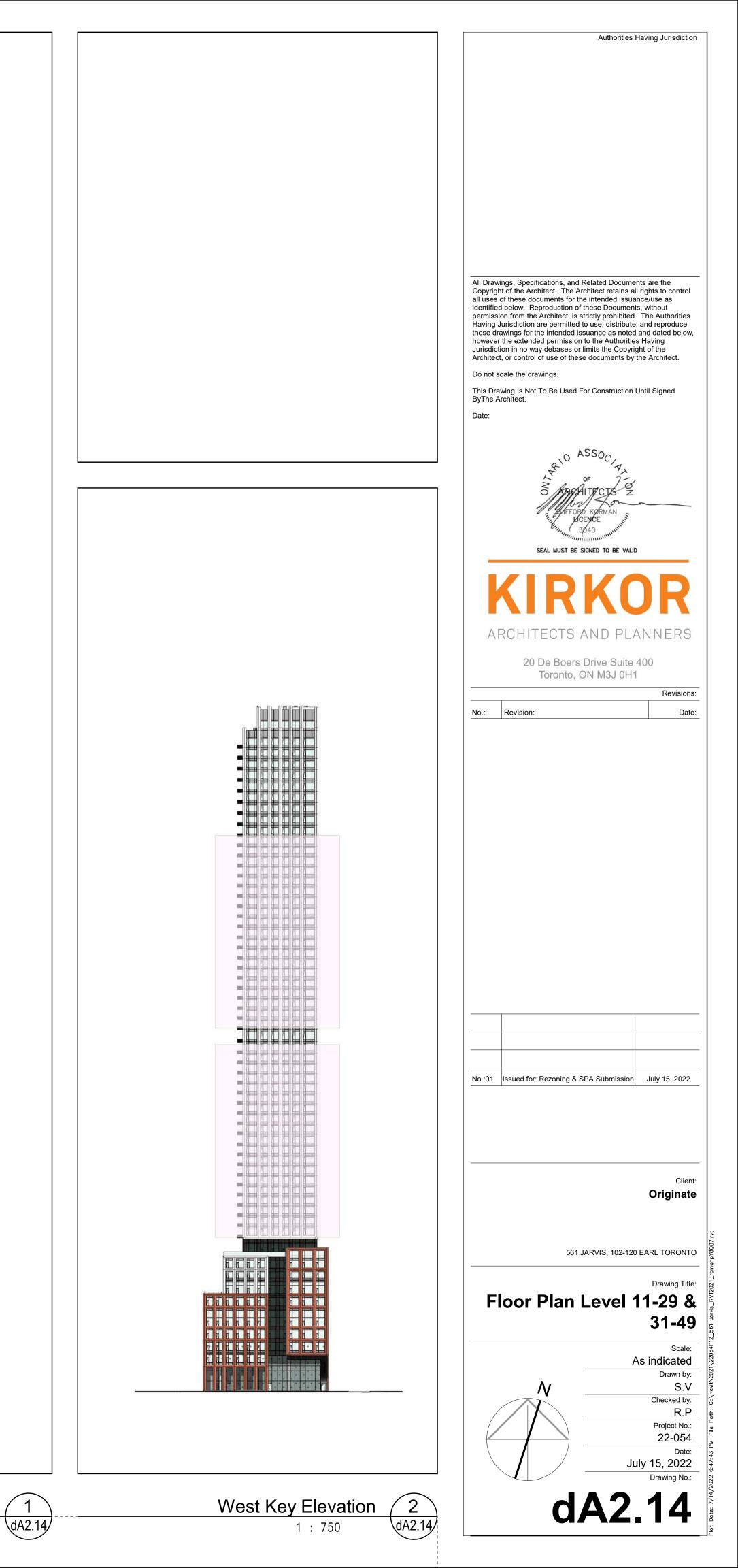


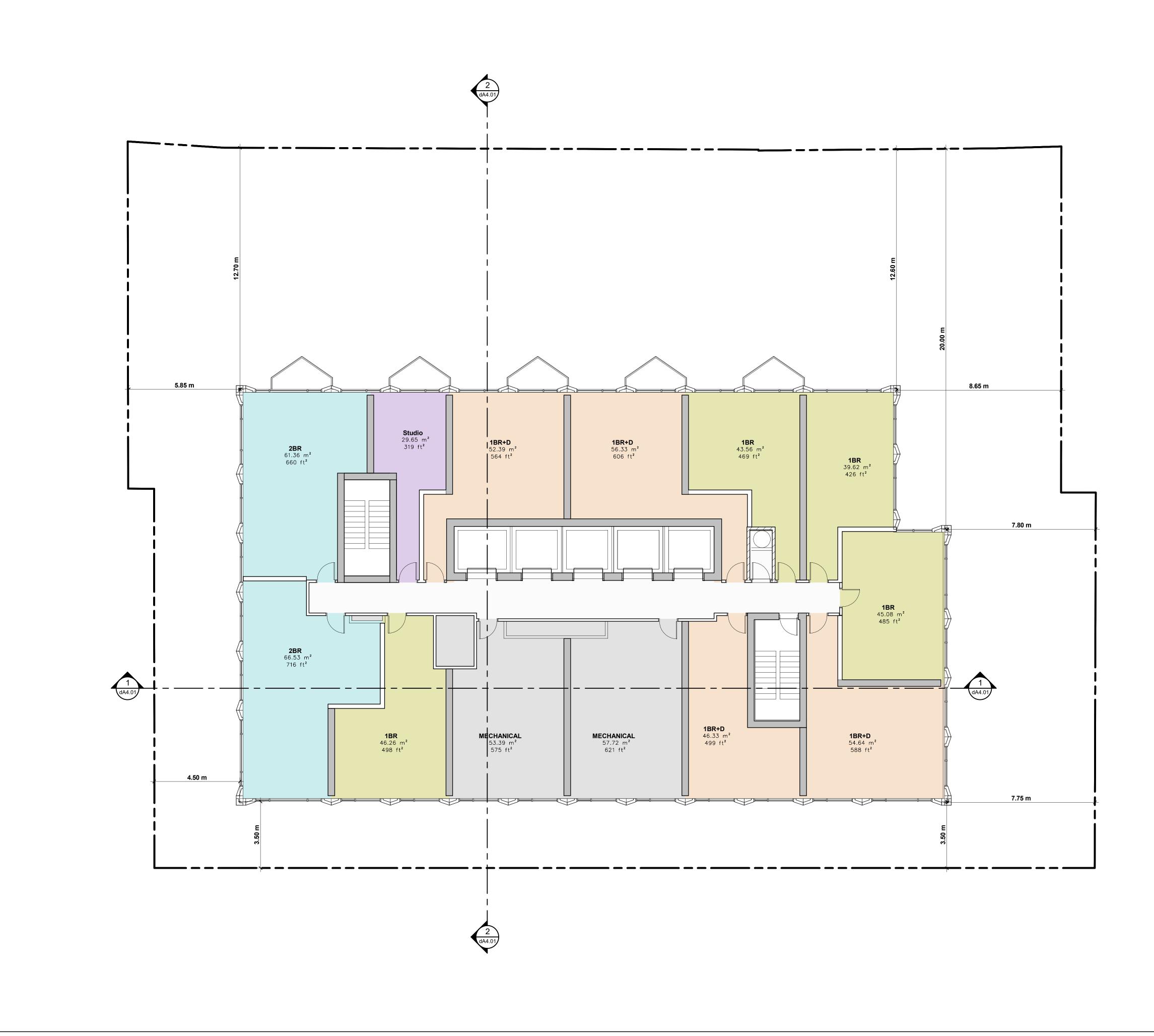




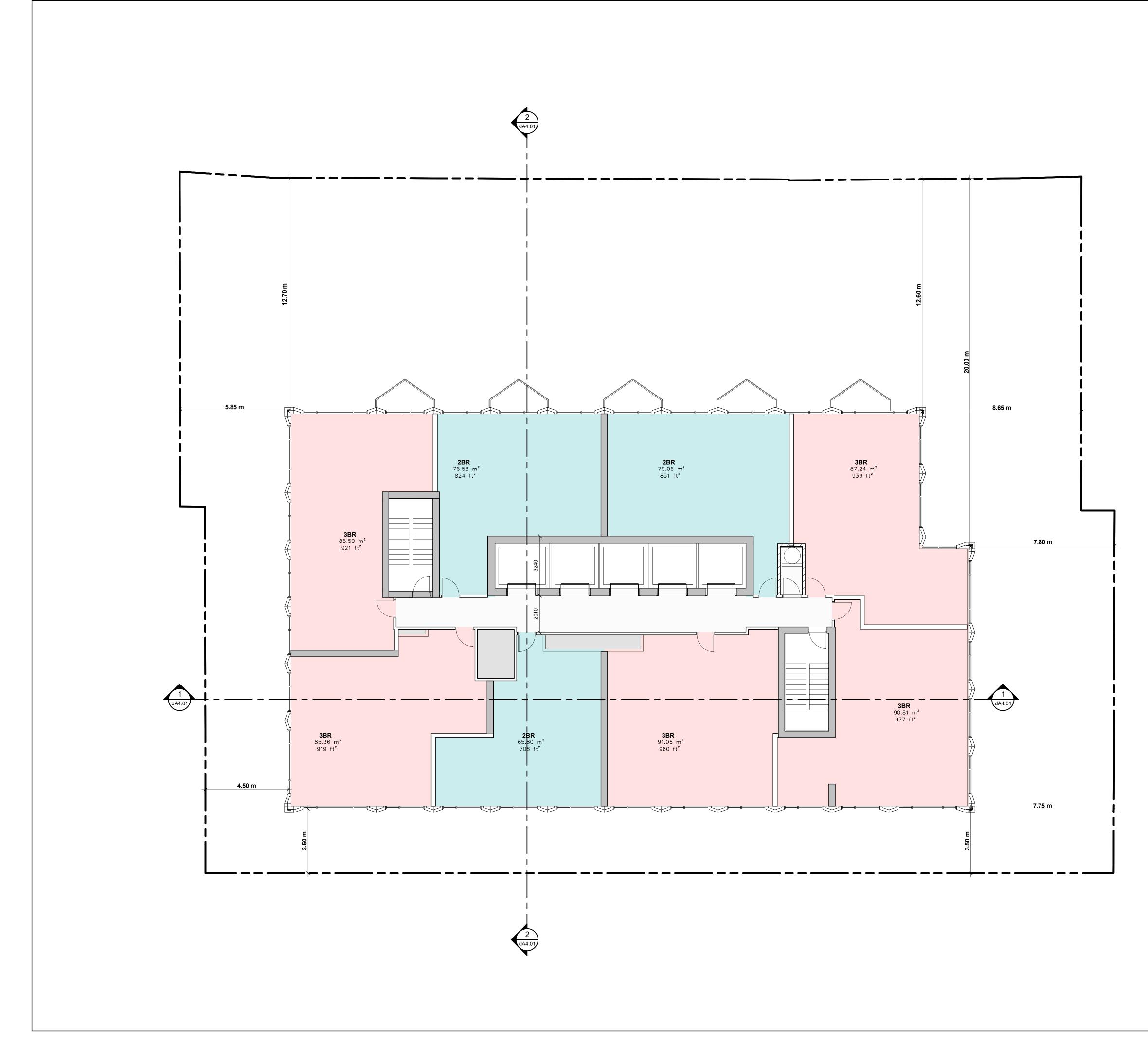


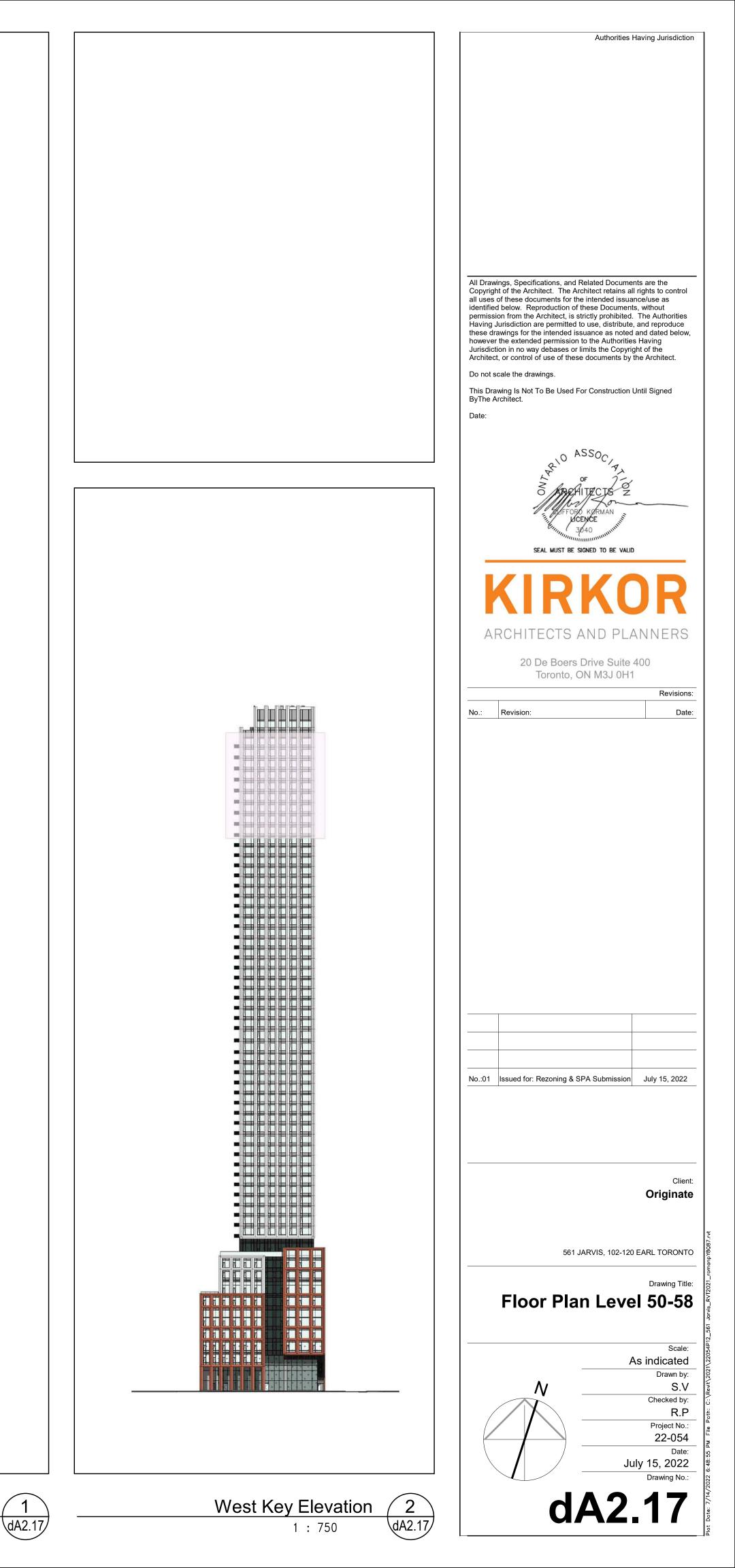


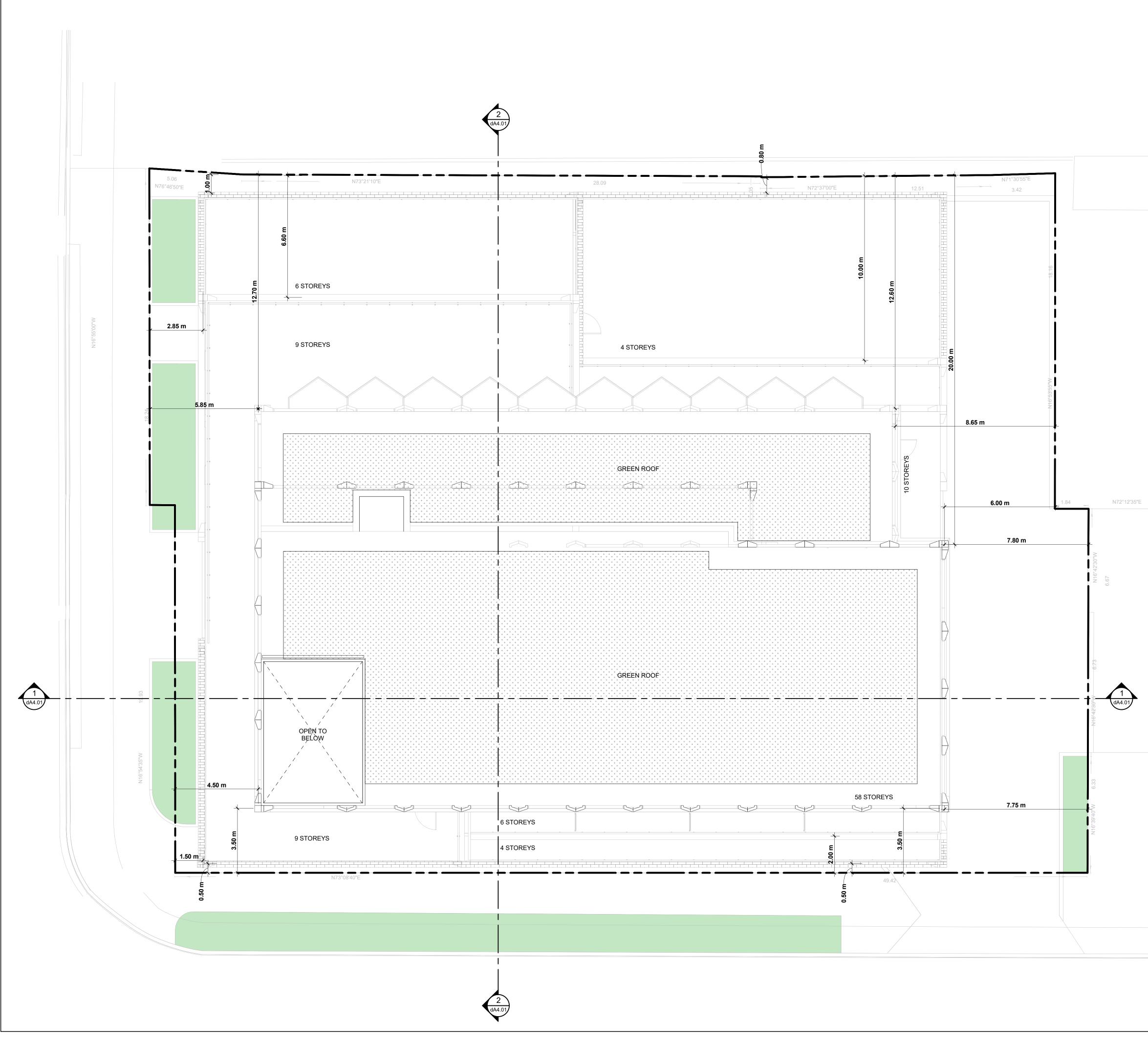


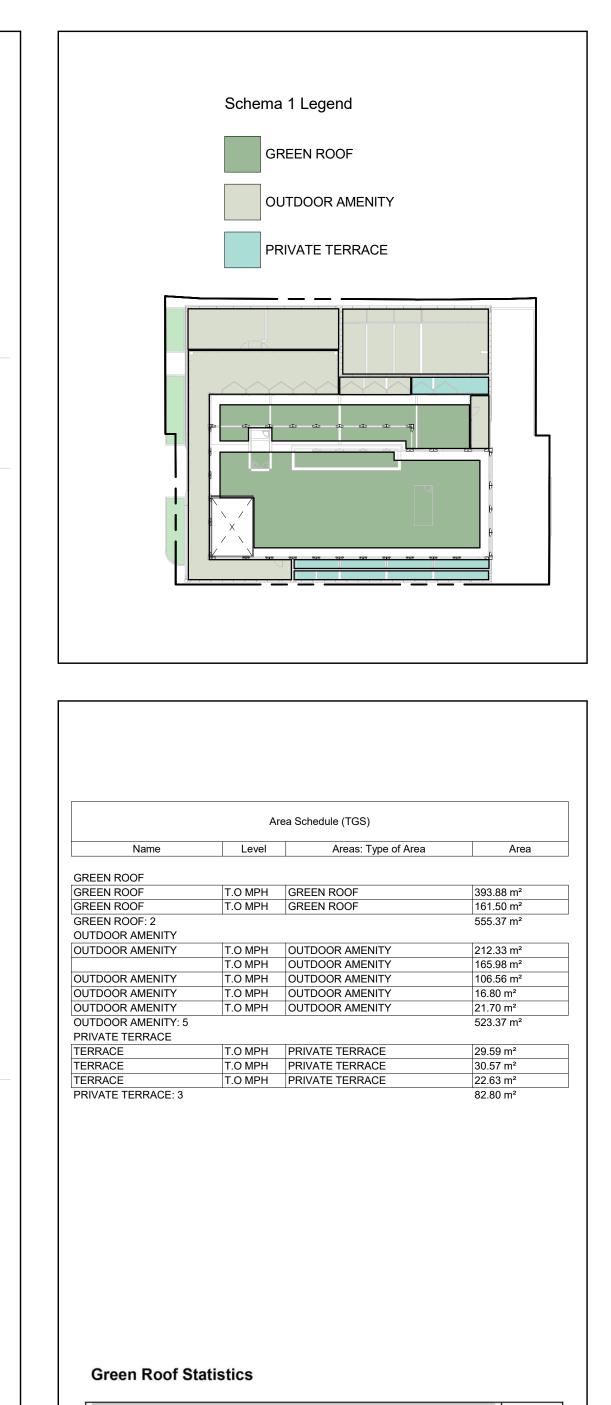


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ARCHITECTS AND PLANNER	?S
20 De Boers Drive Suite 400 Toronto, ON M3J 0H1	
	sions: Date:
No.:01 Issued for: Rezoning & SPA Submission July 15, 20	022
COrigin	Client: 1ate
561 JARVIS, 102-120 EARL TORC	ONTO
Drawing Floor Plan Level	
As indicat	n by:
Image: Second	S.V
Project 22-0	<sup>No.:</sup> )54
D D June 15, 20 Drawing I	
West Key Elevation 2 dA2.15	5
1 : 750 dA2.15	









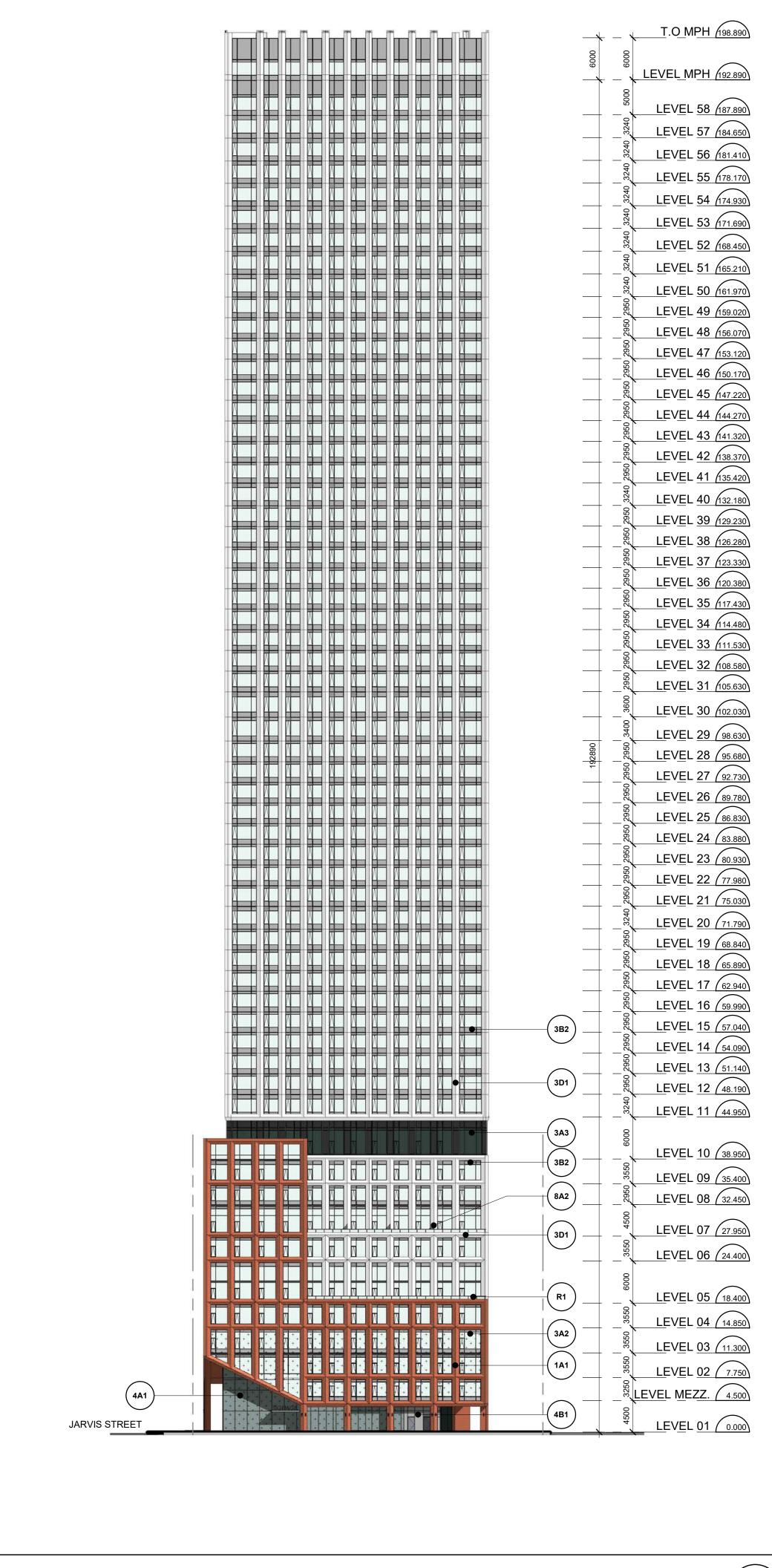
	Proposed
	43,176.31
	1357.36
	99.60
<sup>2</sup> )	506.57
	0
	0
	751.13
Required	Proposed
450.67	555.37
60	74.1
	450.67

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KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400 Toronto, ON M3J 0H1
Revisions: Date:
No Revision. Date.
No.:01 Issued for: Rezoning & SPA Submission July 15, 2022
Client: Originate
561 JARVIS, 102-120 EARL TORONTO
Drawing Title:
Roof Plan
Scale:
As indicated Drawn by:
N S.V Checked by:
R.P Project No.: 22-054
22-054           Date:           July 15, 2022
Drawing No.:

Authorities Having Jurisdiction









	T <u>.O MPH (198.890</u>	MATERIA
	LEVEL MPH (192.890)	1A1. PRE VARIATIO
	LEVEL 58 (187.890)	
	LEVEL 57 (184.650)	3A1. WIN ALUMINU
	LEVEL 56 (181.410)	
	LEVEL 55 (178.170)	3A2. WIN
	LEVEL 54 (174.930)	ALUMINU (DOTS)
	LEVEL 53 (171.690)	
	LEVEL 52 (168.450)	3A3. WIN
	LEVEL 51 (165.210)	ALUMINU
	LEVEL 50 (161.970) LEVEL 49 (159.020)	3A4. WIN
	LEVEL 48 156.070	ALUMINU (DOTS)
	LEVEL 47 (153.120)	
	LEVEL 46 (150.170)	3B1. WIN
	LEVEL 45 (147.220	ALUMINU
	LEVEL 44 (144.270) LEVEL 43 (141.320)	3B2. WIN
	LEVEL 42 (138.370)	ALUMINU
	LEVEL 41 (135.420)	3D1. WIN
	LEVEL 40 (132.180)	ALUMINI
	LEVEL 39 (129.230)	3D2. WIN
	LEVEL 38 (126.280)	ALUMINI
	LEVEL 37 (123.330) LEVEL 36 (120.380)	
	LEVEL 35 (117.430)	3D2. ME <sup>-</sup>
	LEVEL 34 (114.480)	3G1. ME
	LEVEL 33 (111.530)	3G2. ME <sup>-</sup>
		562. WE
		4A1. CUF
	LEVEL 30 (102.030)	ALUMINU PATTERI
	LEVEL 29 (98.630) LEVEL 28 (95.680)	
	LEVEL 27 (92.730)	
	LEVEL 26 (89.780)	ALUMINU
	LEVEL 25 (86.830)	4B1. CUF
(8A3)	LEVEL 24 (83.880)	ALUMINU
	LEVEL 23 (80.930) LEVEL 22 (77.980)	5A1. DAF
	LEVEL 21 (75.030)	
	LEVEL 20 71.790	8A1. BAL
(3B2)	LEVEL 19 68.840	9A1. BRU
	LEVEL 18 65.890	SLAB)
(3D1)	LEVEL 17 62.940 LEVEL 16 59.990	R1. CLEA
	LEVEL 15 (57.040)	
	LEVEL 14 54.090	R2. CLEA
	LEVEL 13 (51.140)	R3. DARI
	LEVEL 12 (48.190)	R4. CLEA
	LEVEL 11 (44.950)	FRIENDL
	LEVEL 10 (38.950)	
	LEVEL 09 (35.400)	
	LEVEL 08 (32.450)	
	LEVEL 07 (27.950)	
	LEVEL 06 (24.400)	
	LL <u>V</u> LL <u>UU (24.400)</u>	
	LEVEL 05 (18.400)	
	LEVEL 04 (14.850)	
	LEVEL 03 (11.300)	
	LEVEL 02 7.750	
	LEVEL MEZZ. 4.500	
4B1 EARL STREET		
		1

 West Elevation
 2

 1 : 400
 dA3.01

## RIAL LEGEND

RECAST CONCRETE - BRICK INLAY (BROWN BRICK WITH FION)

INDOW WALL - CLEAR VISION GLASS ON PREFINISHED NUM WINDOW WALL

VINDOW WALL - VISION GLASS ON PREFINISHED NUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN

INDOW WALL - DARK VISION GLASS ON PREFINISHED

INDOW WALL - DARL VISION GLASS ON PREFINISHED NUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN

INDOW WALL - SPANDREL GLASS ON PREFINISHED NUM WINDOW WALL (DARK GREY)

INDOW WALL - SPANDREL GLASS ON PREFINISHED NUM WINDOW WALL (LIGHT GREY)

/INDOW WALL - METAL PANEL ON PREFEINISHED NIMUM WINDOW WALL (WHITE)

/INDOW WALL - METAL PANEL ON PREFEINISHED NIMUM WINDOW WALL (WHITE)

ETAL SLAB COVER (DARK GREY)

IETAL LOUVRE (DARK GREY)

IETAL LOUVRE (LIGHT GREY)

URTAIN WALL - VISION GLASS ON PREFINISHED NUM CURTAIN WALL SYSTEM /W BIRD FRIENDLY FRIT RN (DOTS)

URTAIN WALL - VISION GLASS ON PREFINISHED NUM CURTAIN WALL SYSTEM

URTAIN WALL - SPANDREL GLASS ON PREFINISHED NUM CURTAIN WALL SYSTEM

ARK METAL SOFFIT WITH PERFORATIONS & LIGHTING

ALCONY DIVIDER - FRITTED GLASS

RUSHCOAT FINISH - WHITE (UNDERSIDE OF BALCONY

EAR VISION GLASS GUARD & ALUMINUM RAILING

EAR VISION GLASS GUARD & ALUMINUM WIND SCREEN

RK VISION GLASS GUARD & ALUMINUM RAILING

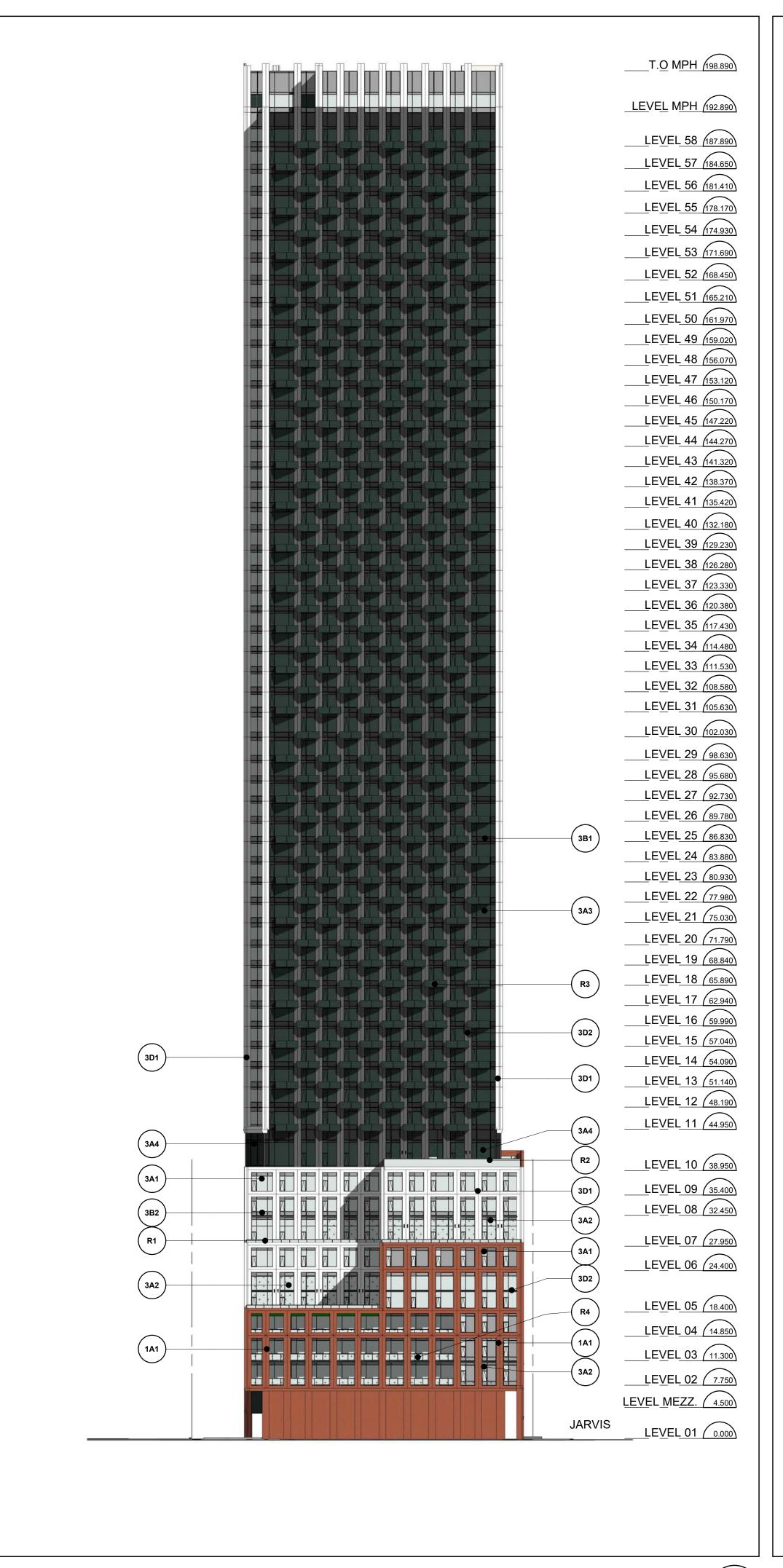
**Bird-Friendly Design Statistics** 

EAR VISION GLASS GUARD & ALUMINUM RAILING /W BIRD DLY FRIT PATTERN (DOTS)

M TORONTO

		Eleva	ation First 16	in Above Gra		
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m <sup>2</sup> )	165	294	167	347	973	100%
Glazing Area (m <sup>2</sup> ) facing High Hazard Area	n/a	n/a	n/a	n/a		
Untreated Area (m <sup>2</sup> )	20	20	9	32	81	8.32%
Treated Area (m <sup>2</sup> )	145	274	158	315	892	91.68%
Visual Markers (m <sup>2</sup> )	77	274	168	315	834	85.71%
Non-reflective glass (m <sup>2</sup> )						-
Shaded (m <sup>2</sup> )	68				68	6.99%
	North	South	East	e Rooftop Veg West	Total	T-1-1 (0()
	North					
	(Floor 5,7,10)	(Floor 10)	(Floor #s)	(Floor 10)	(m2)	Total (%)
Glazing Area (m <sup>2</sup> )	168	26	39	49	282	
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	168	26	39	49	282	100
Non-reflective glass (m <sup>2</sup> )					0	
Visual Markers (m <sup>2</sup> )	168	26	39	49	282	100
visual iviarkers (III)					0	
Shaded (m <sup>2</sup> )					0	

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KIRKOR
ARCHITECTS AND PLANNERS
20 De Boers Drive Suite 400 Toronto, ON M3J 0H1
Revisions       No.:     Revision:       Date:
No.:01 Issued for: Rezoning & SPA Submission July 15, 2022
Client Originate
561 JARVIS, 102-120 EARL TORONTO Drawing Title South & West Elevations
Scale: 1 : 400 Drawn by: S.V Checked by: R.P Project No.: 22-054
Date: July 15, 2022 Drawing No.:
dA3.01



North Elevation 1 : 400



	T.O MPH (198.890)	MATERIA
		1A1. PRE
	<u>LEVEL MPH (192.890</u>	VARIATIO
	LEVEL 58 (187.890)	3A1. WIN
	LEVEL 57 (184.650)	ALUMINU
	LEVEL 56 (181.410)	3A2. WIN
	LEVEL 55 (178.170) LEVEL 54 (174.930)	ALUMINU
	LEVEL 53 (174.930)	(DOTS)
	LEVEL 52 (168.450)	3A3. WIN
	LEVEL 51 (165.210)	ALUMINU
	LEVEL 50 161.970	3A4. WIN
	LEVEL 49 (159.020)	ALUMINU
	LEVEL 48 (156.070)	(DOTS)
	LEVEL 47 (153.120) LEVEL 46 (150.170)	3B1. WIN
	LEVEL 45 (147.220)	ALUMINU
	LEVEL 44 (144.270)	3B2. WIN
	LEVEL 43 (141.320)	ALUMINU
	LEVEL 42 (138.370) LEVEL 41 (135.420)	3D1. WIN
	LEVEL 40 (132.180)	ALUMINI
	LEVEL 39 (129.230)	
	LEVEL 38 (126.280)	3D2. WIN ALUMINII
	LEVEL 37 (123.330)	
	LEVEL 36 (120.380) LEVEL 35 (117.430)	3D2. ME1
	LEVEL 34 (114.480)	3G1. ME1
	LEVEL 33 (111.530)	3G2. ME1
	LEVEL 32 (108.580)	
	LEVEL 31 (105.630)	4A1. CUF
	LEVEL 29 98.630	PATTERN
	LEVEL 28 95.680	4A2. CUF
	LEVEL 27 (92.730)	ALUMINU
	LEVEL 26 (89.780)	
	LEVEL 25 (86.830) LEVEL 24 (83.880)	4B1. CUF ALUMINU
	LEVEL 23 (80.930)	
	LEVEL 22 77.980	5A1. DAR
	LE <u>V</u> EL 21 (75.030)	8A1. BAL
	LEVEL 20 (71.790)	9A1. BRU
	LEVEL 19 68.840 LEVEL 18 65.890	SLAB)
(3D1)	LEVEL 17 62.940	R1. CLEA
	LEVEL 16 59.990	
	LEVEL 15 (57.040)	R2. CLEA
	LEVEL 14 (54.090) LEVEL 13 (51.140)	R3. DAR
	LEVEL 12 (48.190)	
(3B1) (3A4)	LEVEL 11 (44.950)	R4. CLEA
(3A3) (R2)		
	LE <u>VEL 10 (38.950)</u>	
	LEVEL 09 (35.400) LEVEL 08 (32.450)	
	LE <u>VEL 07 (27.950</u>	
	LEVEL 06 (24.400)	
	LEVEL 05 18.400	
	LEVEL 04 (14.850)	
IN   IN	LEVEL 03 (11.300)	
	LEVEL 02 (7.750)	
	LEVEL MEZZ. 4.500	
	LEVEL 01 0.000	

## ATERIAL LEGEND

I. PRECAST CONCRETE - BRICK INLAY (BROWN BRICK WITH RIATION)

I. WINDOW WALL - CLEAR VISION GLASS ON PREFINISHED UMINUM WINDOW WALL

2. WINDOW WALL - VISION GLASS ON PREFINISHED UMINUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN

3. WINDOW WALL - DARK VISION GLASS ON PREFINISHED UMINUM WINDOW WALL

4. WINDOW WALL - DARL VISION GLASS ON PREFINISHED UMINUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN

1. WINDOW WALL - SPANDREL GLASS ON PREFINISHED UMINUM WINDOW WALL (DARK GREY)

2. WINDOW WALL - SPANDREL GLASS ON PREFINISHED UMINUM WINDOW WALL (LIGHT GREY)

1. WINDOW WALL - METAL PANEL ON PREFEINISHED UMINIMUM WINDOW WALL (WHITE)

2. WINDOW WALL - METAL PANEL ON PREFEINISHED UMINIMUM WINDOW WALL (WHITE)

2. METAL SLAB COVER (DARK GREY)

1. METAL LOUVRE (DARK GREY)

32. METAL LOUVRE (LIGHT GREY)

1. CURTAIN WALL - VISION GLASS ON PREFINISHED UMINUM CURTAIN WALL SYSTEM /W BIRD FRIENDLY FRIT TTERN (DOTS)

2. CURTAIN WALL - VISION GLASS ON PREFINISHED UMINUM CURTAIN WALL SYSTEM

. CURTAIN WALL - SPANDREL GLASS ON PREFINISHED UMINUM CURTAIN WALL SYSTEM

. DARK METAL SOFFIT WITH PERFORATIONS & LIGHTING

. BALCONY DIVIDER - FRITTED GLASS

. BRUSHCOAT FINISH - WHITE (UNDERSIDE OF BALCONY

. CLEAR VISION GLASS GUARD & ALUMINUM RAILING

. CLEAR VISION GLASS GUARD & ALUMINUM WIND SCREEN

. DARK VISION GLASS GUARD & ALUMINUM RAILING

**Bird-Friendly Design Statistics** 

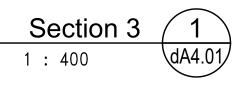
. CLEAR VISION GLASS GUARD & ALUMINUM RAILING /W BIRD RIENDLY FRIT PATTERN (DOTS)

M Toronto

		Eleva	ation First 16	m Above Grad	de	
	North	South	East	West	Total (m2)	Total (%)
Glazing Area (m <sup>2</sup> )	165	294	167	347	973	100%
Glazing Area (m <sup>2</sup> ) facing High Hazard Area	n/a	n/a	n/a	n/a		
Untreated Area (m <sup>2</sup> )	20	20	9	32	81	8.32%
Treated Area (m <sup>2</sup> )	145	274	158	315	892	91.68%
Visual Markers (m <sup>2</sup> )	77	274	168	315	834	85.71%
Non-reflective glass (m <sup>2</sup> )						-
Shaded (m <sup>2</sup> )	68				68	6.99%
	North	South	East	West	Total	
	North	-	-	Rooftop Veg		
	(Floor 5,7,10)	(Floor 10)	(Floor #s)	(Floor 10)	(m2)	Total (%)
Glazing Area (m <sup>2</sup> )	168	26	39	49	282	
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	168	26	39	49	282	100
Non-reflective glass (m <sup>2</sup> )					0	
Visual Markers (m <sup>2</sup> )	168	26	39	49	282	100
					0	
Shaded (m <sup>2</sup> )						

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	Toronto, ON M3J 0H1	
		Revisions
No.:	Revision:	Date
No.:01	Issued for: Rezoning & SPA Submission	July 15, 2022
No.:01	Issued for: Rezoning & SPA Submission	July 15, 2022
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		Client Originate
	561 JARVIS, 102-120	Client Originate
	561 JARVIS, 102-120	Client Originate
	561 JARVIS, 102-120	Client Originate DEARL TORONTC Drawing Title Vations Scale: 1 : 400
	561 JARVIS, 102-120	Client Originate DEARL TORONTO Drawing Title Vations
	561 JARVIS, 102-120	Client Originate DEARL TORONTC Drawing Title Vations Scale: 1 : 400 Drawn by: S.V Checked by:
	561 JARVIS, 102-120	Client Originate DEARL TORONTO Drawing Title Vations Scale: 1 : 400 Drawn by: S.V Checked by: R.P Project No.:
	561 JARVIS, 102-120	Client Originate DEARL TORONTC Drawing Title Vations Scale: 1 : 400 Drawn by: S.V Checked by: R.P
	561 JARVIS, 102-120	Client Originate DEARL TORONTC Drawing Title Vations Scale: 1 : 400 Drawn by: S.V Checked by: R.P Project No.: 22-054 Date: Jly 15, 2022
	561 JARVIS, 102-120	Client Originate DEARL TORONTO Drawing Title Vations Scale: 1 : 400 Drawn by: S.V Checked by: R.P Project No.: 22-054 Date:

	6	11							3)	k	<u>T</u> .O MPH (198.890)
		<u> </u>		I	мрн					6000	
		SUITE		SUITE	SUITE			SUITE	1	7	LEVEL 58 (187.890)
		SUITE		SUITE	SUITE			SUITE			<u>LEVEL 57 (184.650</u>
		SUITE		SUITE	SUITE			SUITE			LEVEL 56 (181.410)
		SUITE		SUITE	SUITE		STARS	SUITE			LEVEL 55 (178.170) LEVEL 54 (174.930)
		SUITE		SUITE	SUITE			SUITE			$\underline{\text{LEV}_{\text{EL}}} 34 (174.930)$
		SUITE		SUITE	SUITE			SUITE			LEVEL 52 (168.450)
		SUITE		SUITE	SUITE			SUITE			LEVEL 51 (165.210) LEVEL 50 (161.970)
		SUITE		SUITE	SUITE			SUITE			LEVEL 49 (159.020)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 48 (156.070)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			$\underline{\text{LEV}} \underline{\text{EL}} 47 \underbrace{(153.120)}_{150.170}$
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 45 (147.220)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 44 (144.270) LEVEL 43 (141.320)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 42 (138.370)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 41 (135.420)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 39 (129.230)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			<u>LEVEL 38 (126.280)</u> <u>LEVEL 37 (123.330)</u>
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 36 (120.380)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 35 (117.430)
		SUITE	SUITE	SUITE	SUITE	SUITE	STAIRS	SUITE			<u>LEVEL 33 (111.530</u>
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 32 (108.580)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 31 (105.630) LEVEL 30 (102.030)
		SUITE	SUITE	SUITE	SUITE	SUITE	İ	SUITE			LEVEL 29 98.630
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE		192890	LEVEL 28 95.680
		SUITE	SUITE	SUITE	SUITE	SUITE	İ	SUITE			LEVEL 27 (92.730) LEVEL 26 (89.780)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 25 (86.830)
		SUITE	SUITE	SUITE	SUITE	SUITE	STARS	SUITE			LEVEL 24 (83.880) LEVEL 23 (80.930)
		SUITE	SUITE	SUITE	SUITE	SUITE	STA	SUITE			LEVEL 22 (77.980)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE	1		LEVEL 21 (75.030) LEVEL 20 (71.790)
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 19 68.840
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 18 65.890 LEVEL 17 62.940
		SUITE	SUITE	SUITE	SUITE	SUITE	İ	SUITE			LEVEL 16
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 15 57.040 LEVEL 14 54.090
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			$\underline{\text{LEV}_{\text{EL}}}^{14} 13 \underbrace{(51.140)}_{51.140}$
PROPERTY LINE		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE	PROPERTY LINE		<u>LEVEL 12 (48.190</u>
PROP				AMENITY				AMENITY	РКОР		LEVEL 11 (44.950)
	( AMENITY								<b> </b>		LEVEL 10 (38.950)
	-	SUITE	SUITE	SUITE	SUITE	SUITE		SUITE	-		LEVEL 09 35.400 LEVEL 08 32.450
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			
		SUITE	SUITE	SUITE	SUITE	SUITE		SUITE			LEVEL 07 (27.950) LEVEL 06 (24.400)
				AMENITY			STAIRS	AMENITY			
	s	UITE SUITE	SUITE	SUITE SUI	TE SUITE	SUITE	s	SUITE			LEVEL 05 (18.400)
	s	UITE SUITE	SUITE	SUITE SUI	TE SUITE	SUITE		SUITE	1		LEVEL 04 (14.850) LEVEL 03 (11.300)
	P			SUITE SUI	TE SUITE	SUITE		SUITE	1		LEVEL 02 7.750
JARVIS		AMENITY			MEZZ			MEZZ	_}		LEVEL MEZZ. (4.500)
		AMENITY		LO	BBY		VISITOR BI PARKING	ICYCLE			LEVEL 01 0.000 102.50
	<b> </b>				RKING						
					RKING						LEVEL P2 (-7.600) LEVEL P3 (-10.400)



		8	<u>T.O MPH (198.890</u>
		9000	
Suite	: Suite		LEVEL 58 (187.890)
SUITE	: Suite		L <u>E</u> VEL 57 (184.650)
SUITE	E SUITE		L <u>EVEL 56 (181.410</u>
SUITE	suite		L <u>EVEL 55 (178.170</u>
SUITE	SUITE	_	L <u>EVEL 54 (174.930</u>
Suite		<b>-</b>	L <u>EVEL 53 (171.690</u>
SUITE			$\underline{\qquad} LEVEL 52 (168.450)$
SUITE	Line in the second		LEVEL 51 (165.210) LEVEL 50 (161.970)
SUITE			L <u>EVEL 49 (159.020</u>
SUITE	SUITE		L <u>EVEL 48 (156.070</u>
SUITE			$\underline{LEVEL}_{47} 47 \underbrace{(153.120)}_{153.120}$
SUITE		<b>-</b>	LEVEL 46 (150.170) LEVEL 45 (147.220)
Suite	k l		$\underline{LEVEL 44}$
SUITE	suite		L <u>EVEL 43 (141.320</u>
Suite			L <u>EVEL 42 (138.370)</u>
SUITE			$\underline{\qquad} L\underline{E}V\underline{E}L 41 (135.420)$
SUITE			LEVEL 40 (132.180) LEVEL 39 (129.230)
Suite			$\underline{LEVEL 38 (129.230)}$
SUITE	: Suite		L <u>EVEL 37 (123.330</u>
SUITE		-	L <u>EVEL 36 (120.380)</u>
Suite		<b></b>	- LEVEL 35 (117.430)
SUITE			LEVEL 34 (114.480) LEVEL 33 (111.530)
SUITE			LEVEL 32 (108.580)
SUITE			LEVEL 31 (105.630)
SUITE		-	L <u>EVEL 30 (102.030</u>
SUITE		8	L <u>EVEL 29 (98.630</u>
SUITE	──┼╢ ┠───	192890	L <u>EVEL 28 (95.680)</u> L <u>EVEL 27 (92.730</u>
SUITE	: SUITE		$\underline{\qquad} L\underline{E}V\underline{E}L 26 \underbrace{89.780}_{89.780}$
SUITE	SUITE		L <u>E</u> VEL 25 (86.830)
SUITE	──╂-╣╏┣───	_	L <u>E</u> VEL 24 (83.880)
SUITE	──┼┥╎╞───	<b></b>	LEVEL 23 (80.930) LEVEL 22 (77.980)
SUITE	: SUITE		$\underline{LEVEL 21}_{75.030}$
SUITE	SUITE		L <u>E</u> VEL 20 71.790
Suite	suite		L <u>EVEL 19 68.840</u>
SUITE	──╂-╣╠───	-	L <u>EVEL 18 (65.890)</u>
SUITE			LEVEL 17 <u>62.940</u> LEVEL 16 <u>59.990</u>
SUITE	: SUITE		$\underline{\qquad} L\underline{E}V\underline{E}L 15 \underbrace{57.040}_{57.040}$
SUITE	suite		L <u>EVEL 14 (54.090</u>
Ш Z	suite		L <u>EVEL 13 (51.140</u>
			$\underline{\qquad} L\underline{E}V\underline{E}L 12 (48.190)$
			L <u>E</u> VEL 11 (44.950)
		OUTDOOR AMENITY	LEVEL 10 (38.950)
SUITE	SUITE		L <u>EVEL 09 (35.400</u>
Suite	suite		L <u>EVEL 08 (32.450</u>
Suite		OUTDOOR	LEVEL 07 27.950
SUITE		SUITE SUITE	LEVEL 06 24.400
AMEN	ITY		
			$\_\_\_\_ LEVEL 05 (18.400)$
SUITE		SUITE	$\underline{\qquad} L\underline{E}V\underline{E}L \ \underline{04} \ \underline{(14.850)}$
SUITE		SUITE	$\underline{\qquad} L\underline{E}V\underline{E}L \ \underline{03} \ \underline{(11.300)}$
	BICYCLE PARKING	BICYCLE PARKING	$ \_ LEVEL 02 (7.750) $
EARL	└─╢╵╟┯┯┥	PARKING STAGING GARBAGE	<u>LEVEL MEZZ. ( 4.500</u>
		RAMP	LEVEL 01 ( 0.000) 102.50
PARKIN	NG BICYCLE STORAGE		L <u>E</u> VEL P1
PARKIN		PARKING PARKING	LEVEL P2 (-7.600)
PARKIN			L <u>EVEL P3 (-10.400</u>
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#### APPENDIX III

Shadow Studies (prepared by Kirkor Architects)

# SHADOW STUDY

561 Jarvis, 102-120 Earl Toronto

**PREPARED FOR: ORIGINATE DEVELOPMENTS** 

**JULY 2022** 





A shadow study has been prepared by Kirkor Architects & Planners in assessing the shadow impacts at the spring/fall equinoxes (March/September 21st). The official plan requires buildings to be located and massed to adequately limit shadow impacts on adjacent Neighbourhoods, particularly during the spring and fall equinoxes (Policy 4.5.2(d)).

The subject site is located within a neighbourhood designation in the downtown core adjacent to both Apartment neightbourhoods and mixed use areas. The proposal is not impacting any public space, park, or sensitive property.

With respect to sunlight on the adjacent neighbourhoods; during the times measured on March/September 21st full sun is provided in the mornings within the neighbourhood designation, with the first shadows being cast on in these areas at 12:18pm. After this time the proposed shadow moves quickly across the neighbourhood properties impacting low rise properties for a period of 2 hours or less (immediately adjacent properties near the end of the day).

Based on our analysis, it is our opinion that the incremental shadow impact is adequately limited, both in terms of its extent and duration, and would not adversely affect the surrounding neighbourhood.

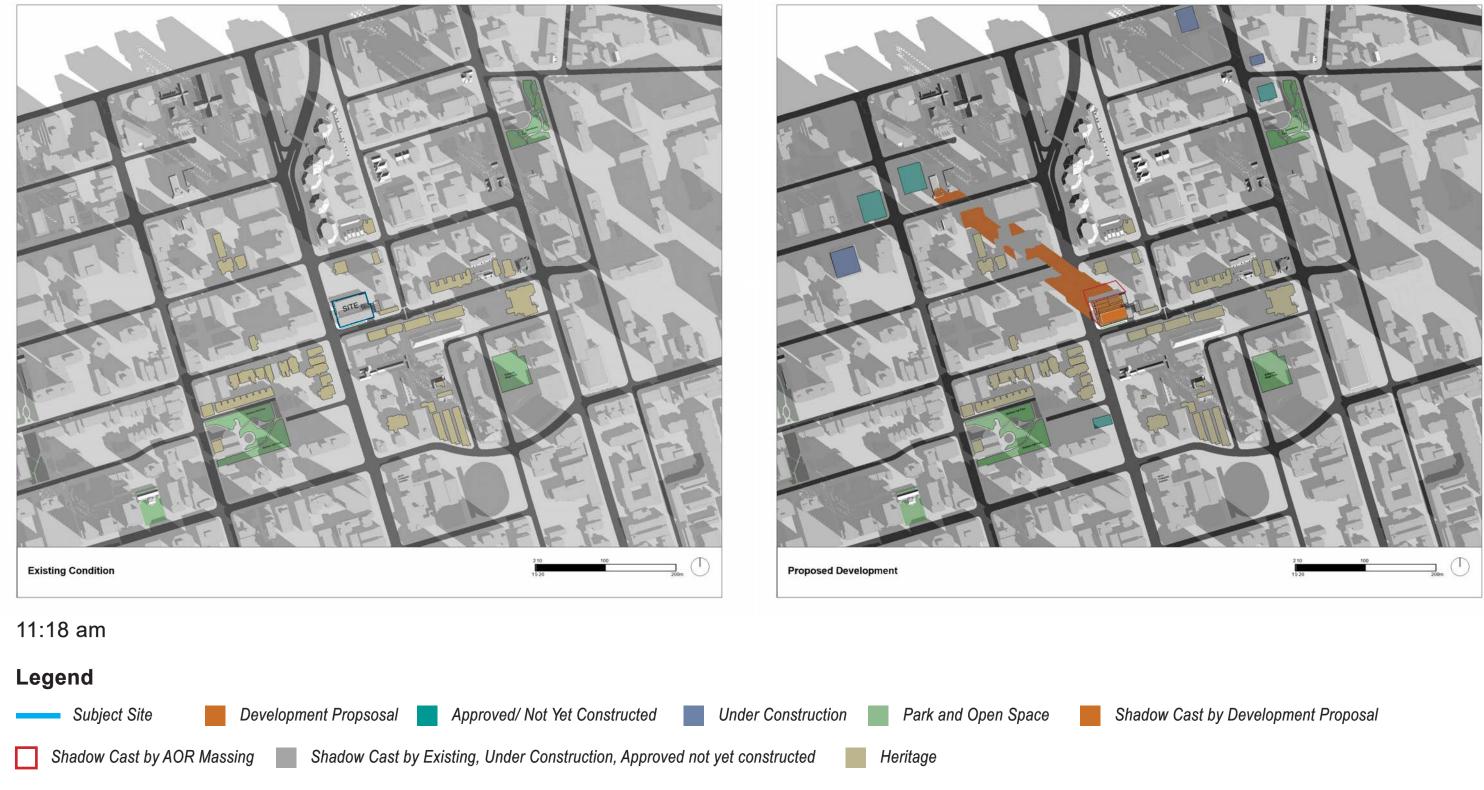














### 561 Jarvis, 102-120 Earl Toronto



