

## APPENDIX I

### Standards and Guidelines for the Conservation of Historic Places in Canada

#### THE STANDARDS

The Standards are not presented in a hierarchical order. All standards for any given type of treatment must be considered, and applied where appropriate, to any conservation project.

#### General Standards for Preservation, Rehabilitation and Restoration

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
7. Evaluate the existing condition of *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.
8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.
9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

#### Additional Standards Relating to Rehabilitation

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.
11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

#### Additional Standards Relating to Restoration

13. Repair rather than replace *character-defining elements* from the *restoration* period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the *restoration* period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

## **APPENDIX II**

Development Drawings (prepared by Kirkor  
Architects)





JARVIS & EARL, TORONTO, ON  
Project: Jarvis & Earl  
Project No: 22-054

1.0 Legal Description  
The site is located at the intersection of Jarvis Street and Earl Street, Toronto, Ontario, Canada. The site is bounded by Jarvis Street to the north, Earl Street to the east, and the intersection of Jarvis Street and Earl Street to the south and west.

2.0 Site Area  
Total Site Area: 4,306.5 m<sup>2</sup>

3.0 Proposed SPA  
The proposed SPA is located on the east side of Jarvis Street, between Earl Street and the intersection of Jarvis Street and Earl Street. The SPA is bounded by Jarvis Street to the north, Earl Street to the east, and the intersection of Jarvis Street and Earl Street to the south and west.

4.0 Proposed Residential SPA - 15 Storey Condos  
Total Residential SPA: 4,306.5 m<sup>2</sup>

5.0 Proposed Retail SPA  
Total Retail SPA: 0 m<sup>2</sup>

6.0 Proposed Office SPA  
Total Office SPA: 0 m<sup>2</sup>

7.0 Proposed Public SPA  
Total Public SPA: 0 m<sup>2</sup>

8.0 Proposed Assembly SPA  
Total Assembly SPA: 0 m<sup>2</sup>

9.0 Proposed Recreation SPA  
Total Recreation SPA: 0 m<sup>2</sup>

10.0 Proposed Other SPA  
Total Other SPA: 0 m<sup>2</sup>

11.0 Proposed Total SPA  
Total SPA: 4,306.5 m<sup>2</sup>

12.0 Proposed Total Floor Area  
Total Floor Area: 43,306.5 m<sup>2</sup>

13.0 Proposed Total Gross Floor Area  
Total Gross Floor Area: 43,306.5 m<sup>2</sup>

14.0 Proposed Total Net Floor Area  
Total Net Floor Area: 43,306.5 m<sup>2</sup>

15.0 Proposed Total Building Volume  
Total Building Volume: 43,306.5 m<sup>3</sup>

16.0 Proposed Total Building Height  
Total Building Height: 15.0 m

17.0 Proposed Total Building Footprint  
Total Building Footprint: 4,306.5 m<sup>2</sup>

18.0 Proposed Total Building Density  
Total Building Density: 10.0 units/m<sup>2</sup>

19.0 Proposed Total Building Intensity  
Total Building Intensity: 10.0 units/m<sup>2</sup>

20.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

21.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

22.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

23.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

24.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

25.0 Proposed Total Building Intensity Ratio  
Total Building Intensity Ratio: 10.0

PROJECT STATISTICS 10  
NTS dA1.02

20 De Boers Dr. # 400  
Toronto, Ontario M5S 2B8  
Tel: 416-463-8800 Fax: 416-463-1334

Name of Project: **Bathurst & Richmond, Toronto**  
Location: **851 Jarvis Street, Toronto**

**The Ontario Building Code 2012**  
**OBC, O.Reg. 332/12 as amended to O.Reg. 762/20**  
**Data Matrix Part 3**  
**High Rise Mixed-Use Residential Building**

1. Project Description: New Residential Apartment Building  
2. Major Occupancy(s): Group C - Residential occupancies  
3. Building Occupancy(s): Group F2 - Medium hazard industrial occupancies (Storage and Service Room)  
4. Building Area (m<sup>2</sup>): 43306 m<sup>2</sup>  
5. Gross Area (m<sup>2</sup>): 43306 m<sup>2</sup>  
6. Maximum Area (m<sup>2</sup>): 0 m<sup>2</sup>  
7. Number of Storeys: Above Grade: 59 Below Grade: 3  
8. Number of Above/Fire Fighter Access: 2  
9. Building Classification: Group C - Residential occupancies  
10. Sprinkler System Proposed: Entire Building  
11. Standpipe System Proposed: Yes  
12. Fire Alarm System Proposed: Yes  
13. Water Service/Supply in Adequate: Yes  
14. High Building: Yes  
15. Construction Restrictions: Non-combustible required

16. Required Fire Resistance Rating (FRR)  
Horizontal Assemblies FRR (hours): 2 1/2  
Floors: 0 1/2 for Occupied roof  
Roof: 1 1/2  
FRR of Supporting Members: 2 1/2  
Floors: 0 1/2 for Occupied roof  
Roof: 1 1/2

17. DESCRIPTION OF FIRE SEPARATIONS  
Bolted Steel: 2 hours  
Fire/Flame Elevator Shaft: 2 hours  
Electrical Closet: 1 hour  
Mechanical Equipment Room: 1 hour  
Vertical Service Spaces: 1 hour  
Janitor's Room: 0 hour  
Electrical Equipment Vault (NA): 2 hours  
Roof to Balcony Fire Separation: 1 hour  
Storage Lockers for Residents: 1 hour  
Residential Public Corridor: 1 hour  
Floor Separations: 2 hours  
Mechanical Floor Assembly: 1 hour  
Parking Garage to any Other Occupancy: 1.5 hours  
Garage Chute Intake Room: 45 min  
Garage Chute Discharge Room: 2 hours  
Garage Chute Shaft: 2 hours  
Central Alarm and Control Facility: 2 hours  
Emergency Generator Room: 2 hours  
Service Rooms: 2 hours  
Service Rooms (With Fuel Feed Equipment): 1 hour  
Vestibules to protect elevators on below-grade levels: 2 hours

18. Spatial Separation: Refer to code report prepared by MSA (Code consultant)

19. Barrier Free Design: Refer to ASB Schedule

OBC MATRIX 10  
NTS dA1.02



Context map 1  
NTS dA1.02

Statistics Template - Toronto Green Standard Version 4.0  
**Mid to High Rise Residential and all New Non-Residential Development**

For Zoning Bylaw Amendment applications, complete General Project Description and Section 1.  
For Site Plan Control applications, complete General Project Description, Section 1 and Section 2.  
For further information, please visit [www.toronto.ca/greendevelopment](http://www.toronto.ca/greendevelopment)

General Project Description Proposed

Total Gross Floor Area: 43,306.5 m<sup>2</sup>

Breakdown of project components (m<sup>2</sup>):  
Residential: 43,152.16  
Retail: 154.34  
Commercial: 0  
Industrial: 0  
Institutional/Other: 0  
Total number of residential units: 690

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation  
Number of Parking Spaces: 0  
Number of parking spaces with EVSE (residential): 66  
Number of parking spaces with EVSE (non-residential): 2

Cycling Infrastructure  
Number of long-term bicycle parking spaces (all uses): 621  
Number of long-term bicycle parking located on:  
a) first storey of building: 0  
b) second storey of building: 336  
c) first level below-ground: 286  
d) second level below-ground: 0  
e) other levels below-ground: 0

Statistics Template - Toronto Green Standard Version 4.0  
**Mid to High Rise Residential and all New Non-Residential Development**

Cycling Infrastructure  
Number of short-term bicycle parking spaces: 69  
Number of shower and change facilities (non-residential): n/a

Tree Canopy  
Total Soil Volume (40% of the site area + 66 m<sup>2</sup> x 30 m): 340  
Soil volume provided within the site area (m<sup>3</sup>): 78  
Soil volume provided within the public boulevard (m<sup>3</sup>): 214.5

Section 2: For Site Plan Control Applications

Cycling Infrastructure  
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade: 69  
Number of publicly accessible bicycle parking spaces: 10  
Number of energized outlets for electric bicycles: 104

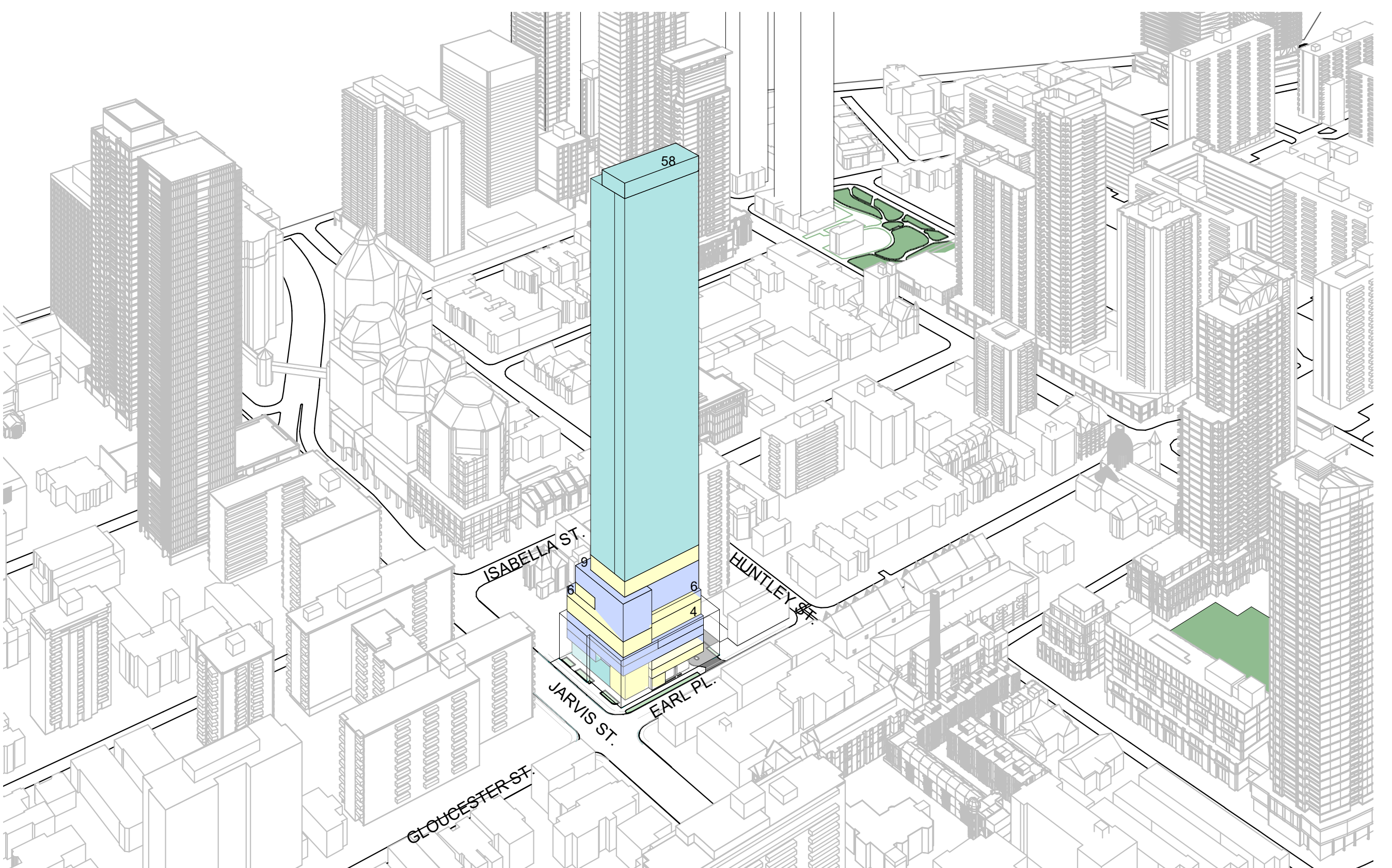
Tree Canopy  
Total site area (m<sup>2</sup>): 1866  
Total Soil Volume (40% of the site area + 66 m<sup>2</sup> x 30 m): 340  
Total number of trees planted: 11

Landscaping & Biodiversity  
Total non-roof hardscape area (m<sup>2</sup>): 187  
Total non-roof hardscape area treated for Urban Heat Island (minimum residential 70% or non-residential 50%): 14.25  
Area of non-roof hardscape treated with:  
a) high-albedo surface material: 187  
b) open-grid pavement: 0  
c) shade from tree canopy: 0

Statistics Template - Toronto Green Standard Version 4.0  
**Mid to High Rise Residential and all New Non-Residential Development**

Landscaping & Biodiversity  
a) shade from high-albedo structures  
b) shade from energy generation structures  
Percentage of Lot Area as Soft Landscaping (non-residential only): 2.9%  
Total number of plants: 451  
Total number of native plants and % of total plants: 447 (99%)  
Available Roof Space (m<sup>2</sup>): 751.13  
Available Roof Space provided as Green Roof (m<sup>2</sup>): 450.67 m<sup>2</sup>  
Available Roof Space provided as Cool Roof (m<sup>2</sup>): 0  
Available Roof Space provided as Solar Panels (m<sup>2</sup>): 0

Wind Collision Deflection  
Total area of glazing of all elevations within 1.6m above grade: 973  
Total area of treated glazing (minimum 85% of total area of glazing within 1.6m above grade): 778.4  
Percentage of glazing within 1.6m above grade treated with:  
a) Visual markers: 834 (85.71%)  
b) non-reflective glass: 0  
c) Building integrated structures: 68 shaded (6.99%)



3D Context View from SW 2  
NTS dA1.02

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Revisions:

No.: Revision: Date:

Client: Originate

561 JARVIS, 102-120 EARL TORONTO

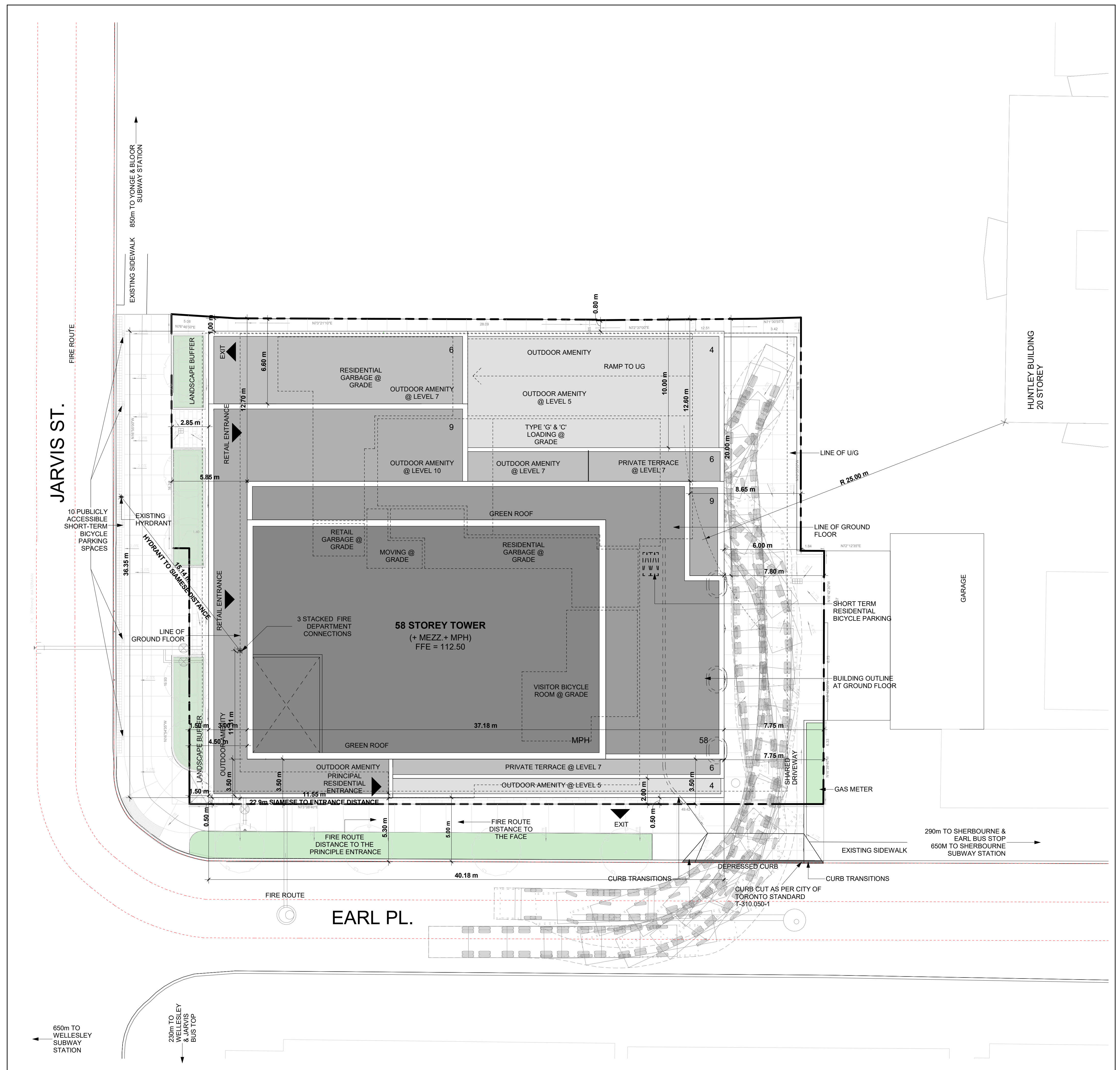
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Drawn by: S.V.  
Checked by: R.P.  
Project No.: 22-054  
Date: July 15, 2022  
Drawing No.: dA1.02

TGS TEMPLATE 3  
NTS dA1.02

**RESIDENTIAL GARBAGE / RECYCLING STORAGE ROOM**  
**WASTE DIVERSION SYSTEM: SINGLE CHUTE WITH TRI-SORTER**  
**CITY OF TORONTO REQUIREMENTS (MAY 2012):**  
 GARBAGE/RECYCLING:  
 25m<sup>2</sup> / FIRST 50 UNITS + 13m<sup>2</sup> / EACH ADDITIONAL 50 UNITS + 10m<sup>2</sup> (BULKY GARBAGE)  
**CALCULATED GARBAGE/RECYCLING REQUIREMENT:**  
 25m<sup>2</sup> + (13m<sup>2</sup> x ((690-50)/50)) + 10m<sup>2</sup> = 201.40m<sup>2</sup>  
**CALCULATED STAGING AREA REQUIREMENT:**  
 5m<sup>2</sup> FOR EVERY 50 UNITS > 50  
 TOTAL REQUIRED STAGING AREA: (690-50) / 50 x 5m<sup>2</sup> = 64.0m<sup>2</sup>

**NOTES:**  
 PAVEMENT DESIGN OF ACCESS ROUTE SHALL MEET THE FOLLOWING DEPTH REQUIREMENTS:  
 - 50MM COMPACTED DEPTH HL-3 ASPHALT FOR TOP COURSE  
 - 75MM COMPACTED DEPTH HL-9 ASPHALT FOR BASE COURSE  
 - 150MM COMPACTED DEPTH OF 25MM Ø CRUSHER RUN LIMESTONE  
 - 300MM COMPACTED DEPTH OF 50MM Ø CRUSHER RUN LIMESTONE  
 DRIVEWAY WIDTH SHALL BE A MINIMUM 6.0 METRES FROM FACE-OF-CURB TO FACE-OF-CURB  
 RADIUS THROUGHOUT ENTIRE ACCESS ROUTE SHALL BE NO LESS THAN 12.0 METRES (CENTRE LINE).  
 ACCESS ROUTE TO HAVE MINIMUM VERTICAL CLEARANCE OF 4.4M AND SLOPE SHALL NOT BE GREATER THEN 5%.  
 STRUCTURE BELOW CAN SAFELY SUPPORT A FULLY LOADED COLLECTION VEHICLE WEIGHING 35,000KG, AND SHALL CONFORM ALL APPLICABLE LEGISLATION.  
 LOADING AREA AND LOADING PAD TO HAVE MINIMUM VERTICAL CLEARANCE OF 7.5M.  
 LOADING PAD SHALL HAVE A MINIMUM BASE OF 300MM COMPACTED 20MM CRUSHER RUN LIMESTONE AND SHALL BE FINISHED TO A MINIMUM OF 200MM DEPTH OF CONCRETE OR A CITY APPROVED ALTERNATIVE.  
 GRADE OF LOADING PAD SHALL BE NO GREATER THAN ±2%.  
 BOLLARDS OR OTHER TYPE BARRIERS AREA TO BE INSTALLED ON EITHER SIDE OF THE LOADING DOOR(S).  
 SNOW STORAGE AREAS MUST NOT INTERFERE OR COMPROMISE THE MINIMUM SPECIFICATIONS OF THE ACCESS ROUTE OR TURNING OPERATIONS.  
 RESPONSIBILITY OF OWNER TO MEET NO LESS THAN MINIMUM STANDARDS POURSUANT TO ONTARIO BUILDING CODE AND APPROPRIATE ODOUR CONTROLS REQUIREMENTS FOR WASTE STORAGE FACILITY.

GENERAL NOTES 10  
 dA1.03



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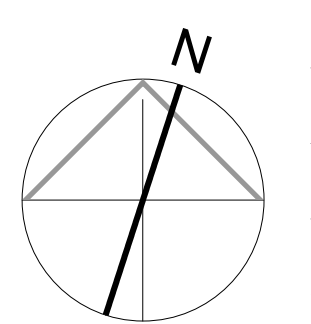
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Client:  
 Originate

561 JARVIS, 102-120 EARL TORONTO

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 Site Plan

Scale:  
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 Drawn by:  
 S.V  
 Checked by:  
 R.P  
 Project No.:  
 22-054  
 Date:  
 July 15, 2022  
 Drawing No.:

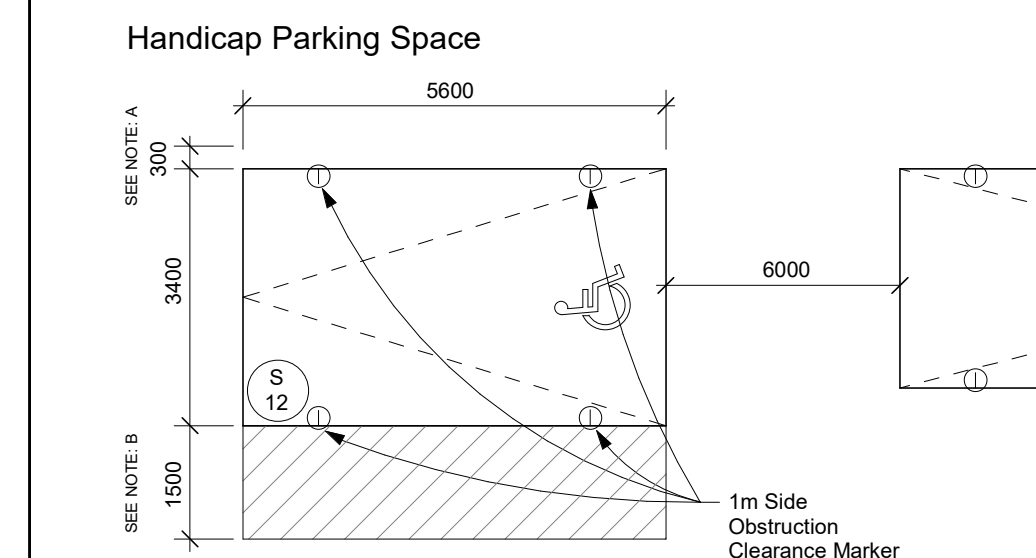
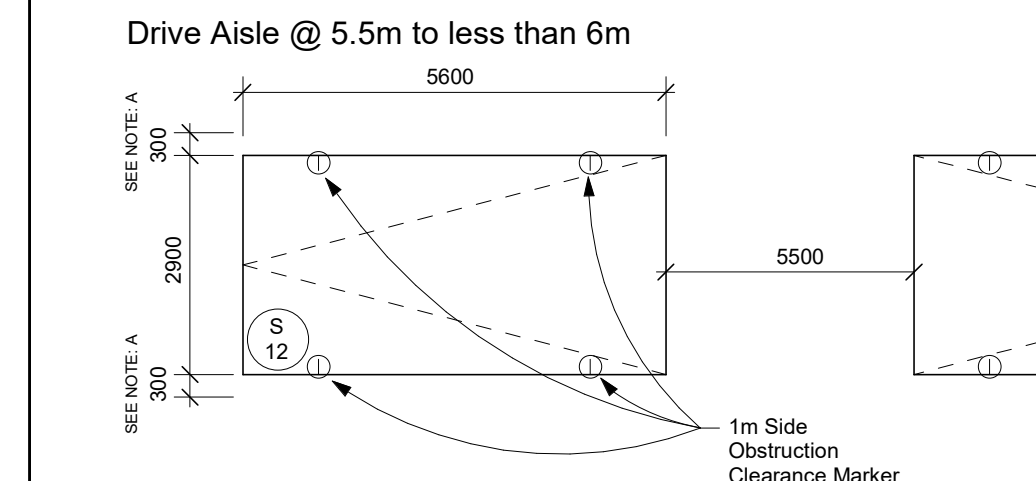
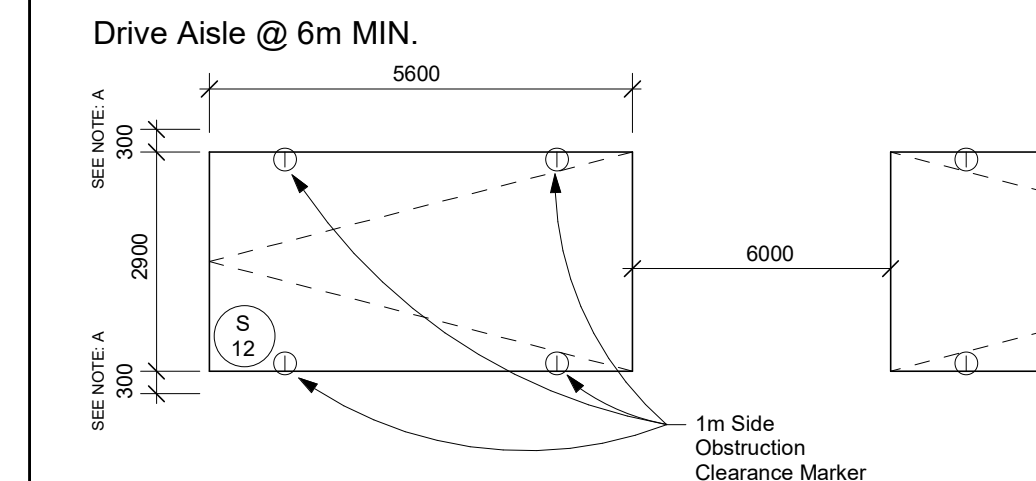


Site Plan 1  
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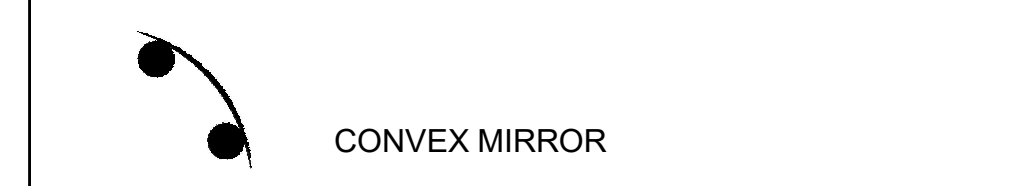
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TYPICAL PARKING SPACE:

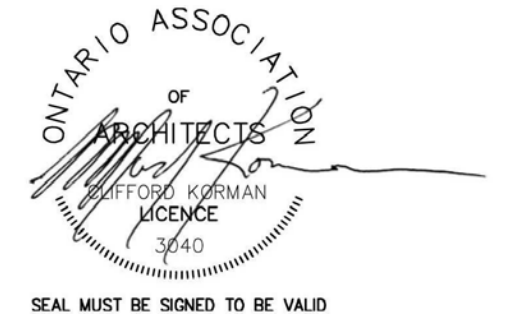


NOTES:  
A - PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.  
B - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF A HANDICAP PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING HANDICAP SPACE.



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**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

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No.:	Revision:	Date:

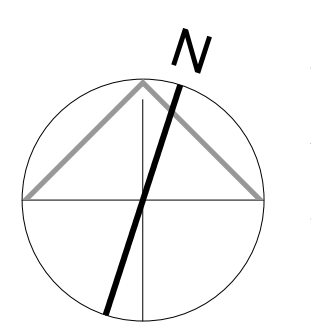
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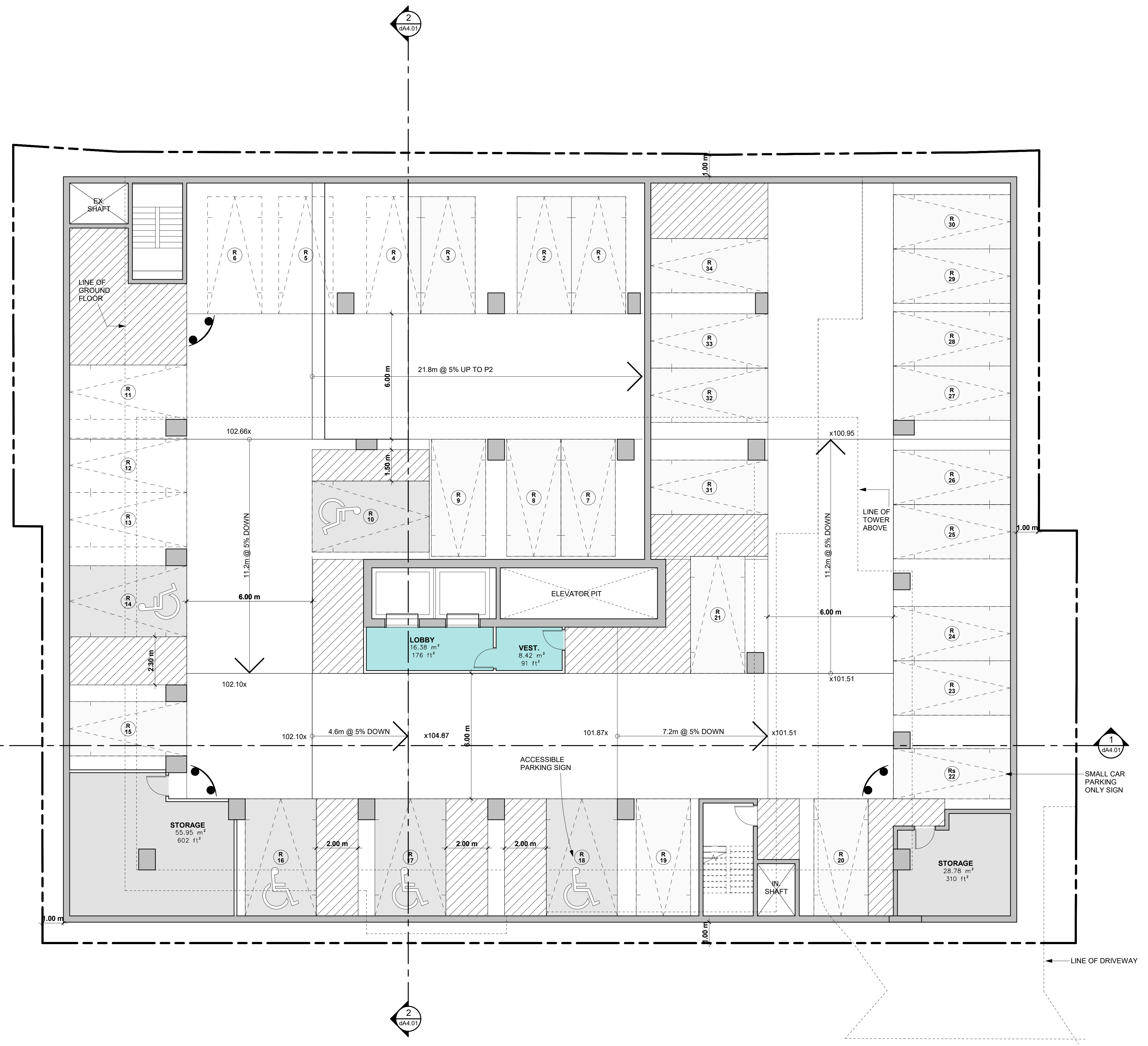
561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Parking Level P3**

Scale:  
**1 : 100**  
Drawn by:  
**S.V**  
Checked by:  
**R.P**  
Project No.:  
**22-054**  
Date:  
**July 15, 2022**  
Drawing No.:



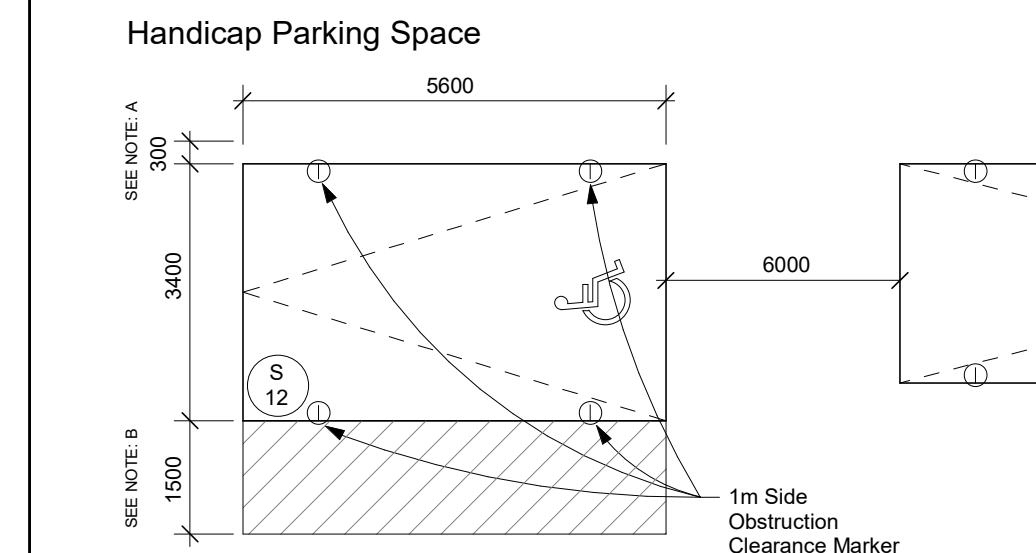
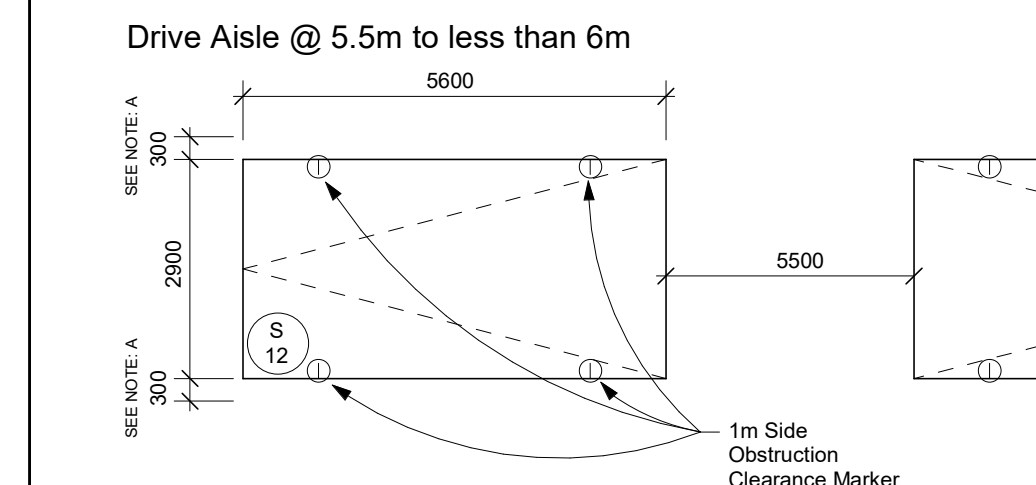
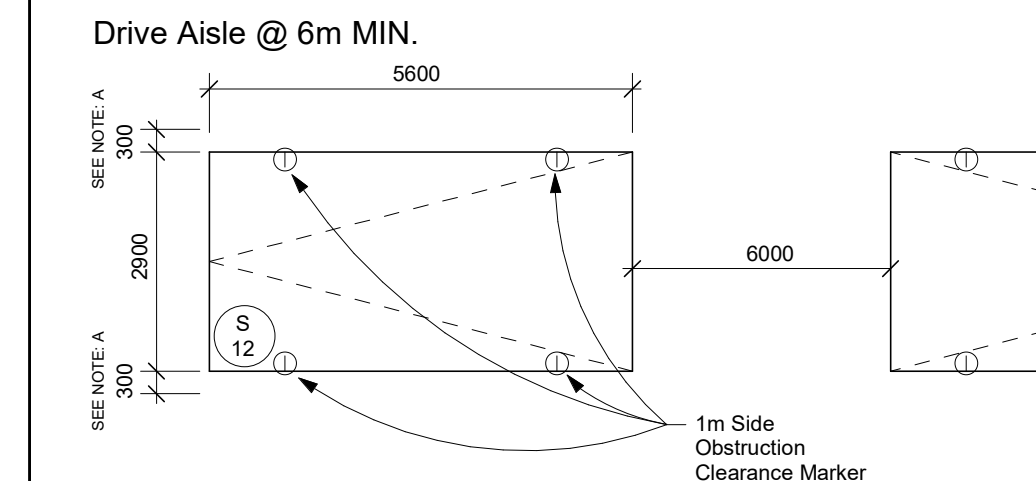
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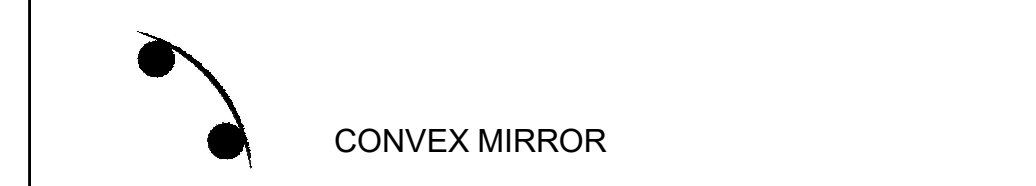
12 A2 Floor Plan - Level P3 1 : 100 dA2.01

Key West Elevation 10 : 100 dA2.01

**TYPICAL PARKING SPACE:**



NOTES:  
 A - PROVIDE AN ADDITIONAL 300mm FOR PARKING SPACE WIDTH WHEN OBSTRUCTIONS OCCUR BETWEEN THE FRONT AND REAR 1000mm.  
 B - PROVIDE A 1500mm WALKWAY ON AT LEAST ONE SIDE OF A HANDICAP PARKING STALL. THIS WALKWAY MAY BE SHARED WITH ADJOINING HANDICAP SPACE.



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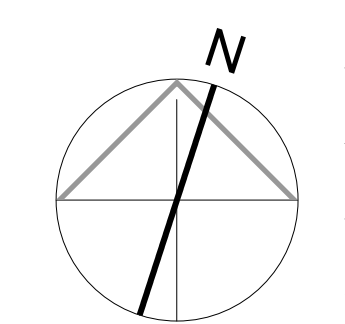
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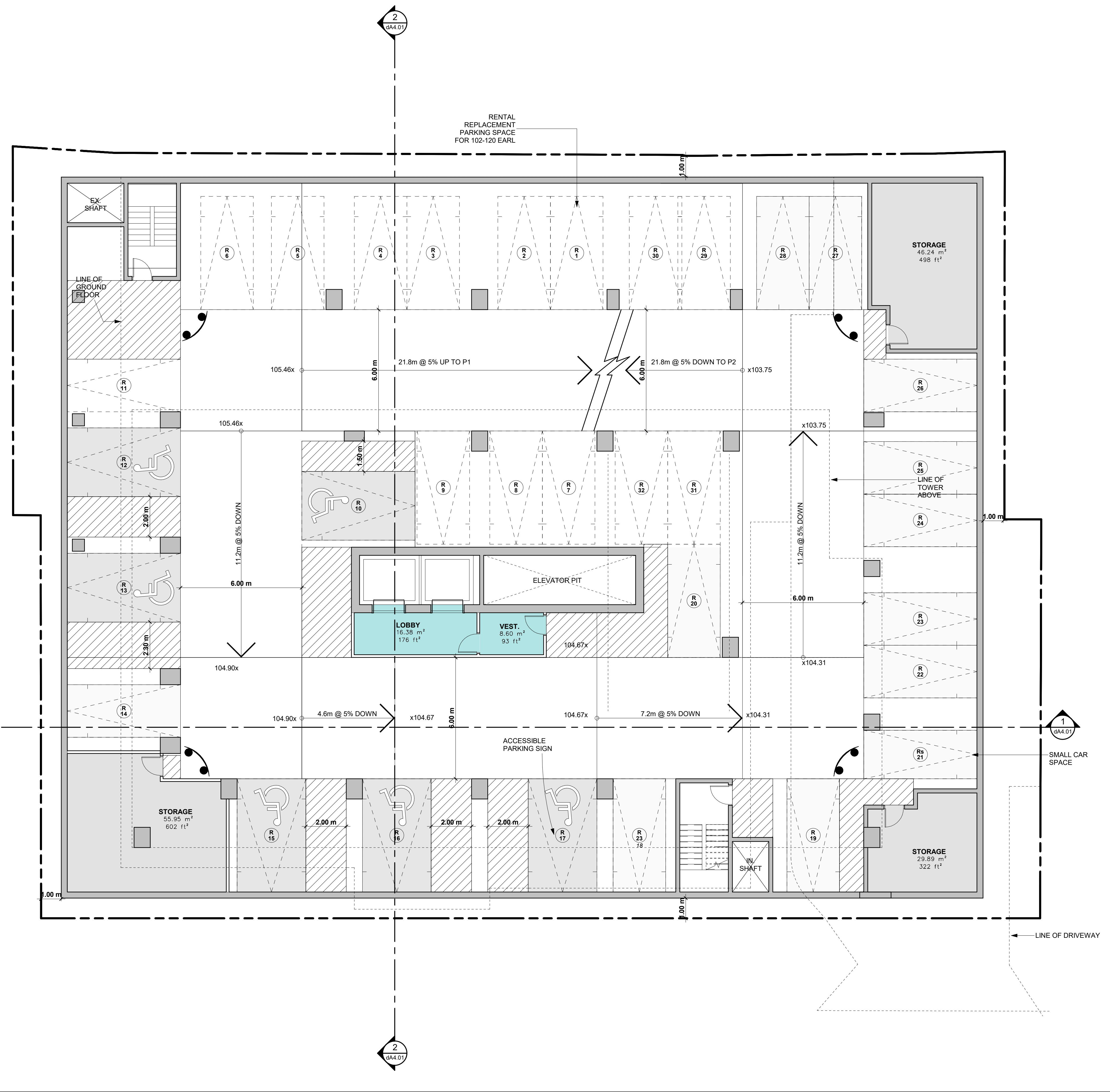
561 JARVIS, 102-120 EARL TORONTO

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Scale:  
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 Drawn by:  
**S.V**  
 Checked by:  
**R.P**  
 Project No.:  
**22-054**  
 Date:  
**July 15, 2022**  
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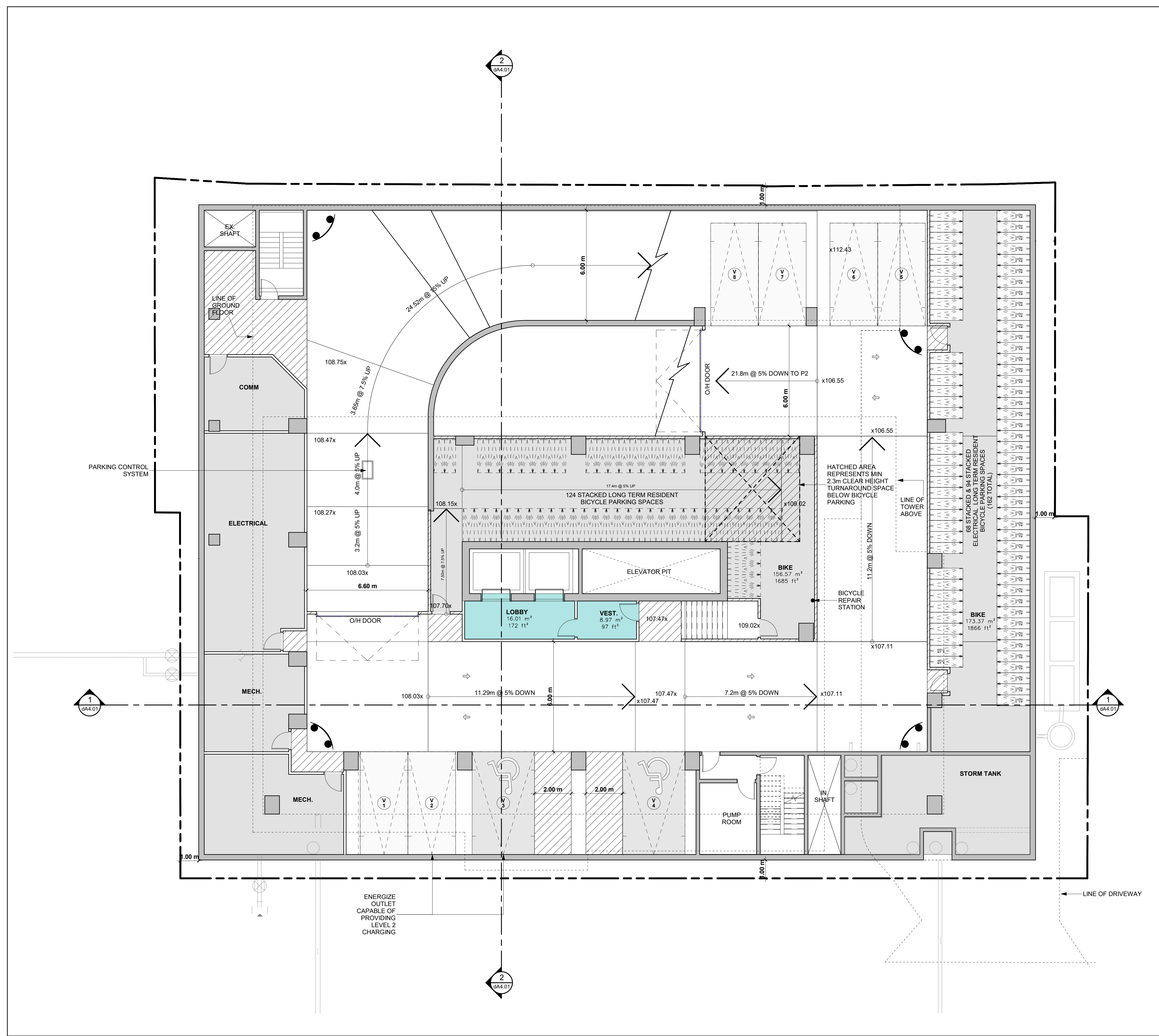


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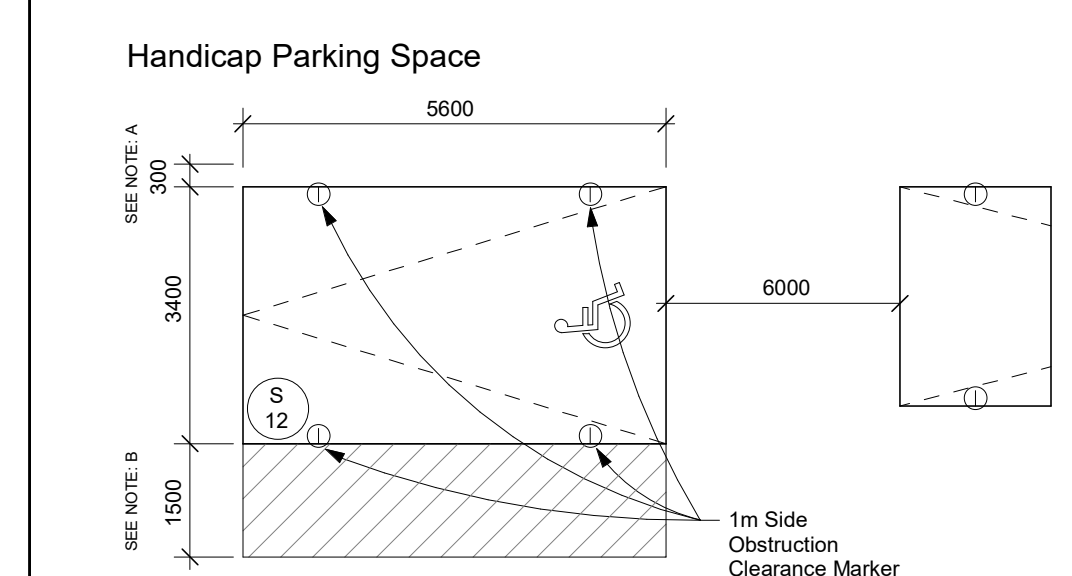
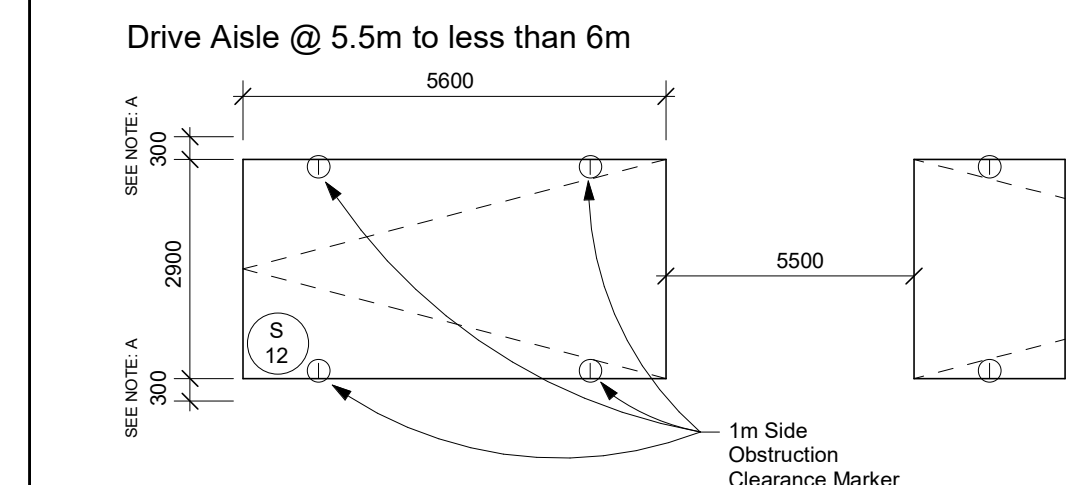
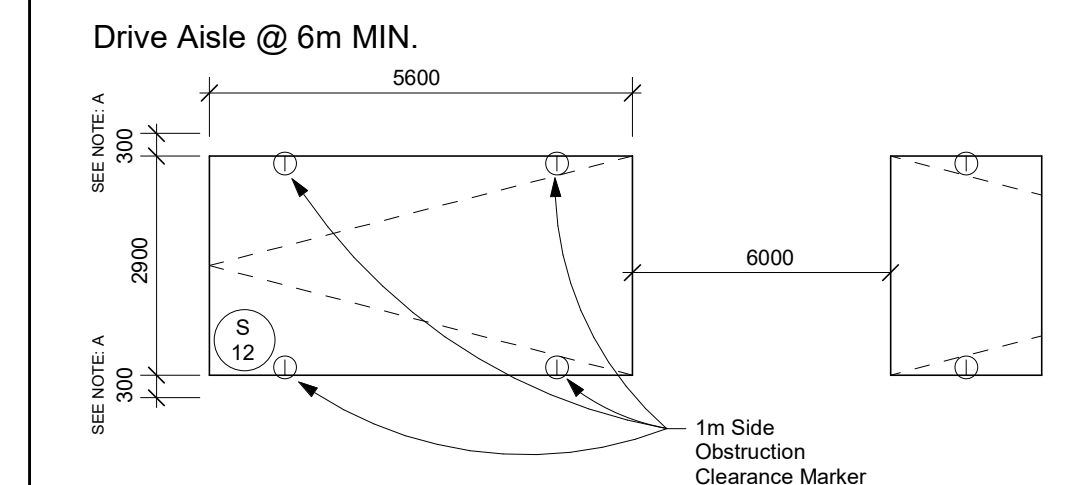


NOTE: ALL RESIDENTIAL PARKING SPACES TO BE EQUIPPED WITH AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER





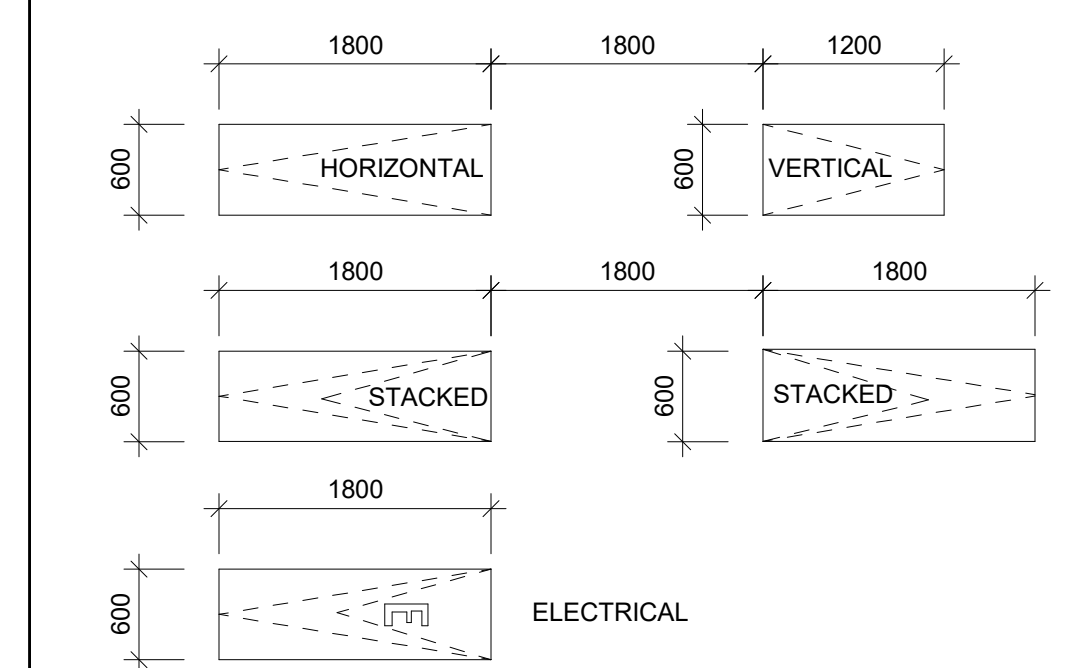
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**TYPICAL BICYCLE PARKING SPACE:**

WALKWAY: MINIMUM 1800mm  
 VERTICAL PARKING SPACE: 1200mm (L) x 600mm (W)  
 HORIZONTAL PARKING SPACE: 1800mm (L) x 600mm (W)  
 STACKED PARKING SPACE: 1800mm (L) x 600mm (W)



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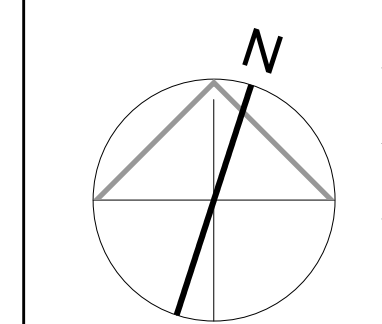
No. 01 Issued for: Rezoning & SPA Submission July 15, 2022

Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Parking Level P1**

Scale:  
**1 : 100**  
 Drawn by:  
**S.V**  
 Checked by:  
**R.P**  
 Project No.:  
**22-054**  
 Date:  
**July 15, 2022**  
 Drawing No.:

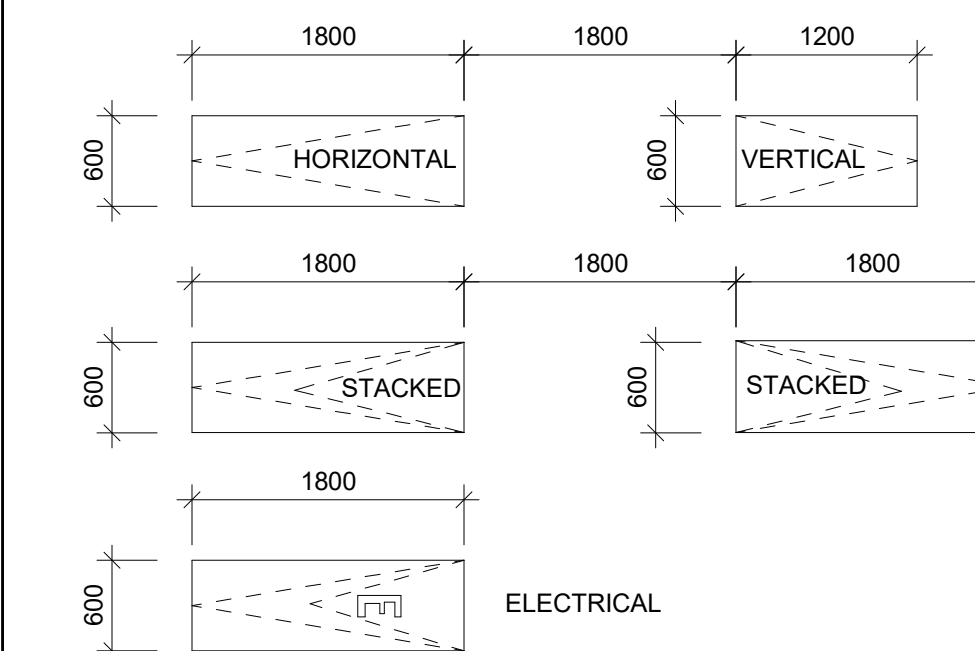


**dA2.03**



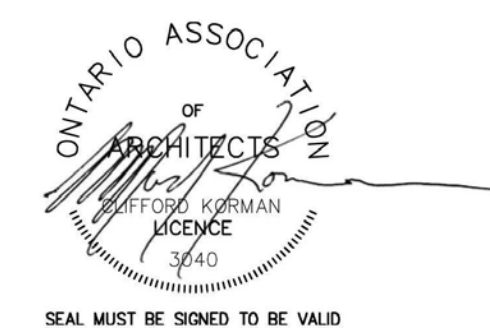
**TYPICAL BICYCLE PARKING SPACE:**

WALKWAY: MINIMUM 1800mm  
 VERTICAL PARKING SPACE: 1200mm (L) x 600mm (W)  
 HORIZONTAL PARKING SPACE: 1800mm (L) x 600mm (W)  
 STACKED PARKING SPACE: 1800mm (L) x 600mm (W)



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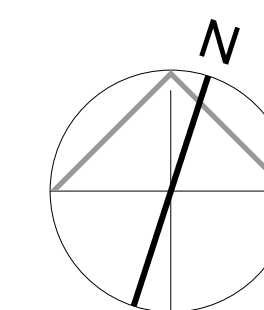
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Client:  
**Originate**

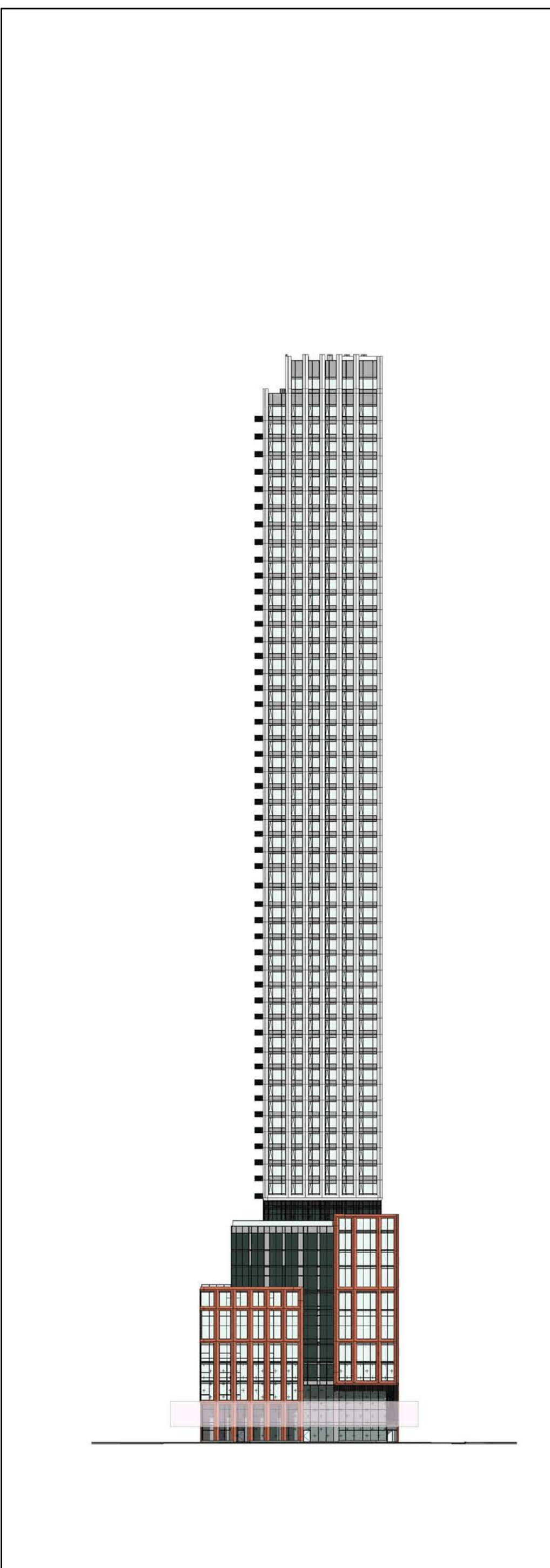
561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level MEZZ**

Scale:  
**As indicated**  
 Drawn by:  
 S.V.  
 Checked by:  
 R.P.  
 Project No.:  
 22-054  
 Date:  
 July 15, 2022  
 Drawing No.:



**dA2.05**



West Key Elevation

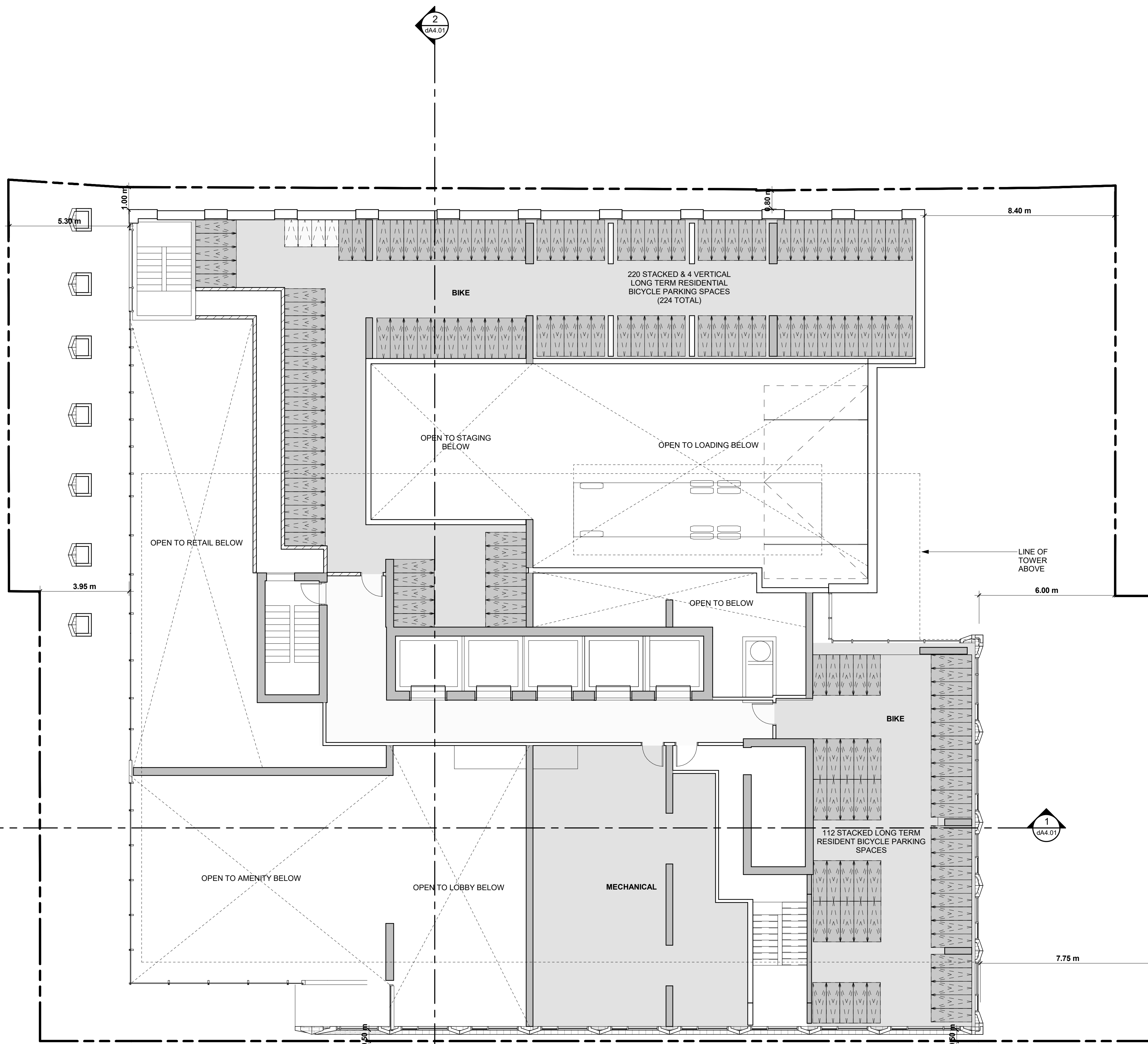
1 : 750

Floor Plan Level 2

1 : 100

1

dA2.05



1  
dA4.01

2  
dA4.01

2  
dA4.01

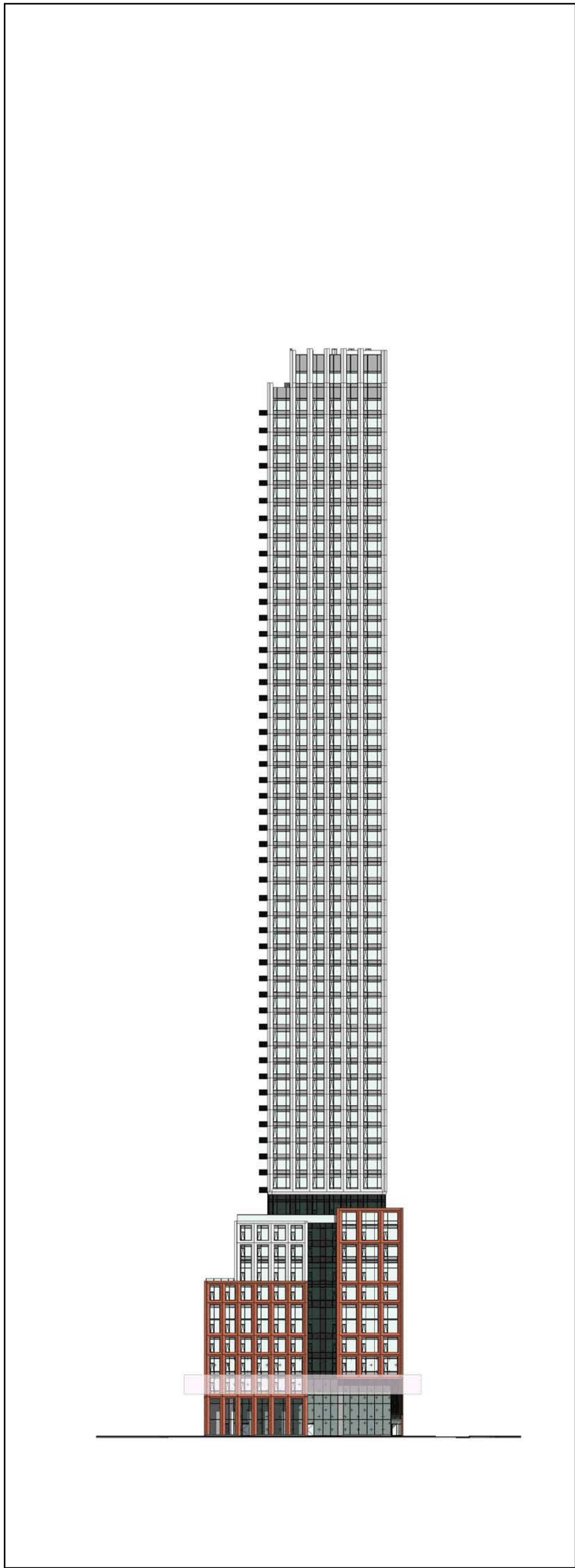
1  
dA4.01

2  
dA2.05



12 A2 Floor Plan - Level 2 1  
1 : 100 dA2.06

Room No.	Room Name	Area (m <sup>2</sup> )	Area (ft <sup>2</sup> )	Notes
1	1BR	50.00	538	EXISTING - 475ft <sup>2</sup> PROPOSED - 479ft <sup>2</sup>
2	RR-1BR	44.46	479	EXISTING - 426ft <sup>2</sup> PROPOSED - 450ft <sup>2</sup>
3	RR-1BR	41.76	450	EXISTING - 426ft <sup>2</sup> PROPOSED - 450ft <sup>2</sup>
4	RR-1BR	41.76	450	EXISTING - 428ft <sup>2</sup> PROPOSED - 450ft <sup>2</sup>
5	RR-1BR	41.76	450	EXISTING - 429ft <sup>2</sup> PROPOSED - 450ft <sup>2</sup>
6	RR-1BR	41.76	450	EXISTING - 429ft <sup>2</sup> PROPOSED - 450ft <sup>2</sup>
7	RR-3BR	78.48	845	EXISTING - 1,800ft <sup>2</sup> PROPOSED - 845ft <sup>2</sup>
8	RR-Studio	29.90	322	EXISTING - 268ft <sup>2</sup> PROPOSED - 322ft <sup>2</sup>
9	LOCKERS	82.03	883	
10	2BR	65.49	705	
11	1B-D	48.25	519	
12	RR-Studio	34.18	368	
13	RR-Studio	36.27	390	
14	2B-I	69.17	745	
15	2B-I	64.93	699	
16	2BR	78.25	842	



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No.:	Revision:	

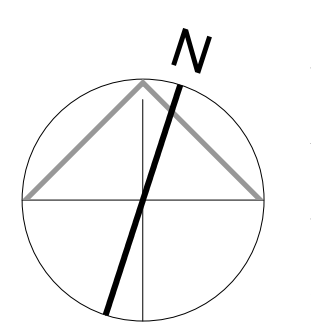
No. 01 Issued for: Rezoning & SPA Submission July 15, 2022

Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 2**

Scale:  
As indicated  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:



**dA2.06**

Plot Date: 7/17/2022 4:43:31 PM The Path: C:\Users\3201\Documents\22-054\22-054.dwg

Area	Area (m²)	Area (ft²)	Count	Percentage
2BR	67.86	730	1	100.00%
1BR	50.00	538	1	100.00%
RR-1BR	41.76	450	1	100.00%
RR-1BR	41.76	450	1	100.00%
RR-1BR	41.76	450	1	100.00%
RR-1BR	41.76	450	1	100.00%
RR-1BR	41.76	450	1	100.00%
RR-1BR	41.76	450	1	100.00%
3BR	80.18	863	1	100.00%
1B-D	65.49	705	1	100.00%
1B-D	48.25	519	1	100.00%
2BR	78.25	842	1	100.00%
1BR	46.47	500	1	100.00%
1B-D I	54.01	581	1	100.00%
RR-Studio	34.18	368	1	100.00%
RR-1BR	44.38	478	1	100.00%
2B-I	64.27	692	1	100.00%
2B-I	64.93	699	1	100.00%
2BR	66.42	715	1	100.00%
LOCKERS	84.86	913	1	100.00%
STUDIO	44.01	472	1	100.00%
STUDIO	44.01	472	1	100.00%

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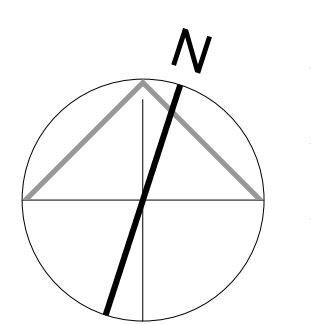
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Client:  
**Originate**

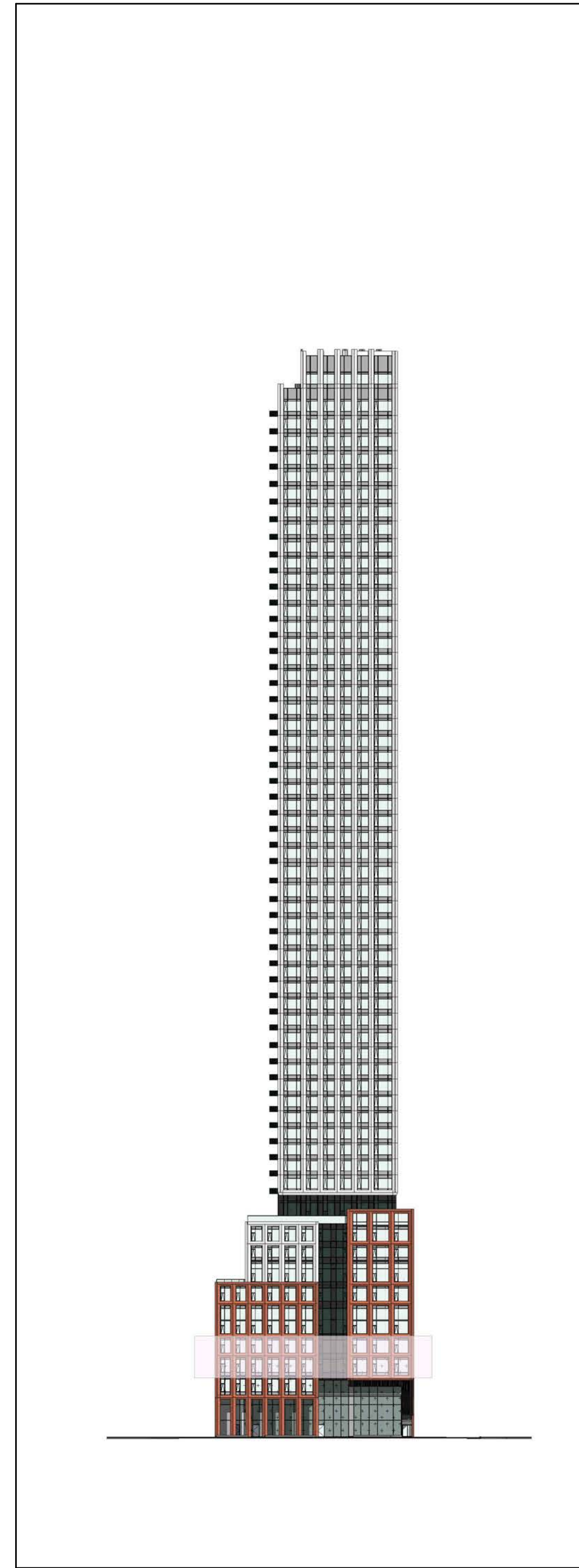
561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
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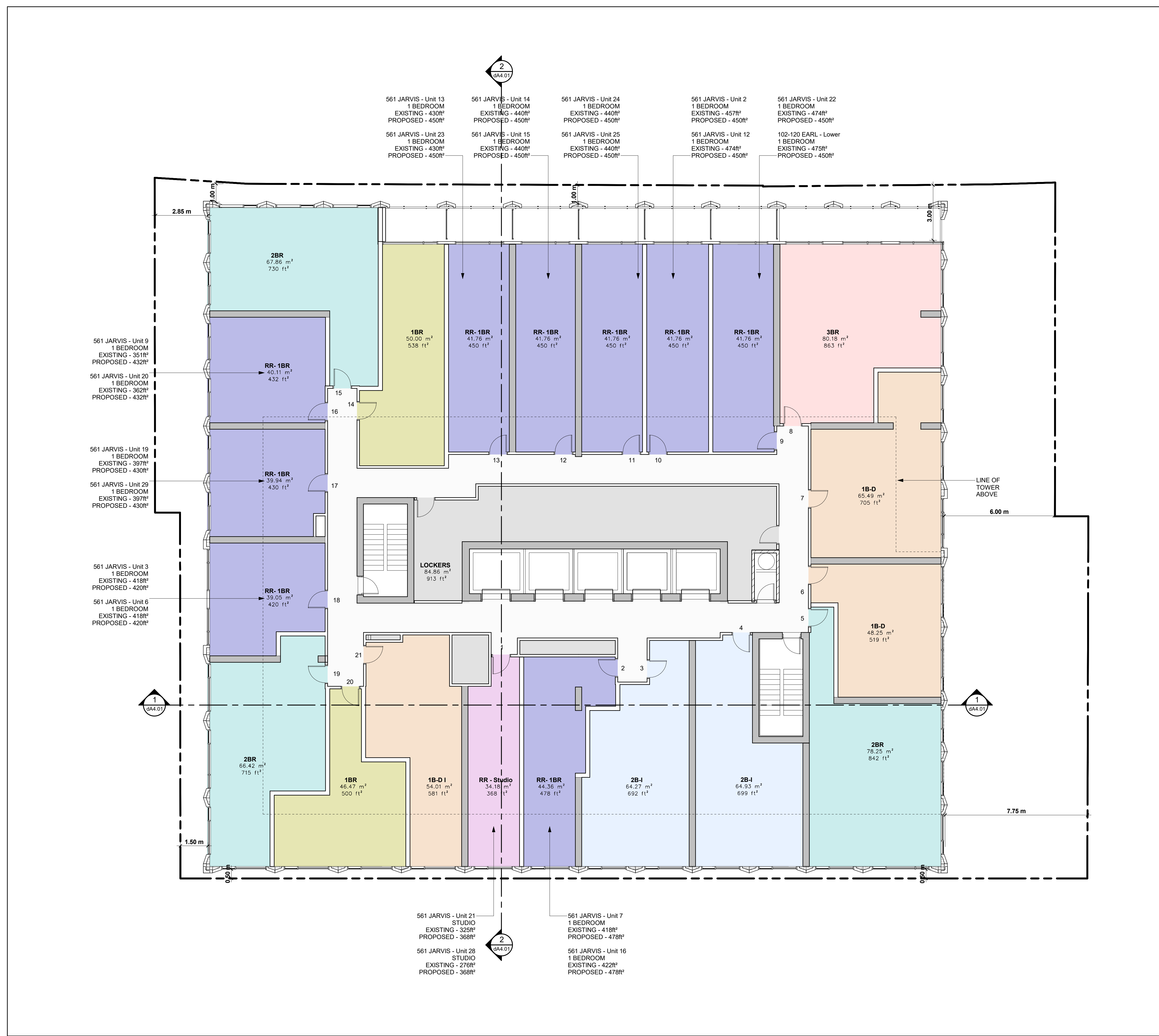
Scale:  
As indicated  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:



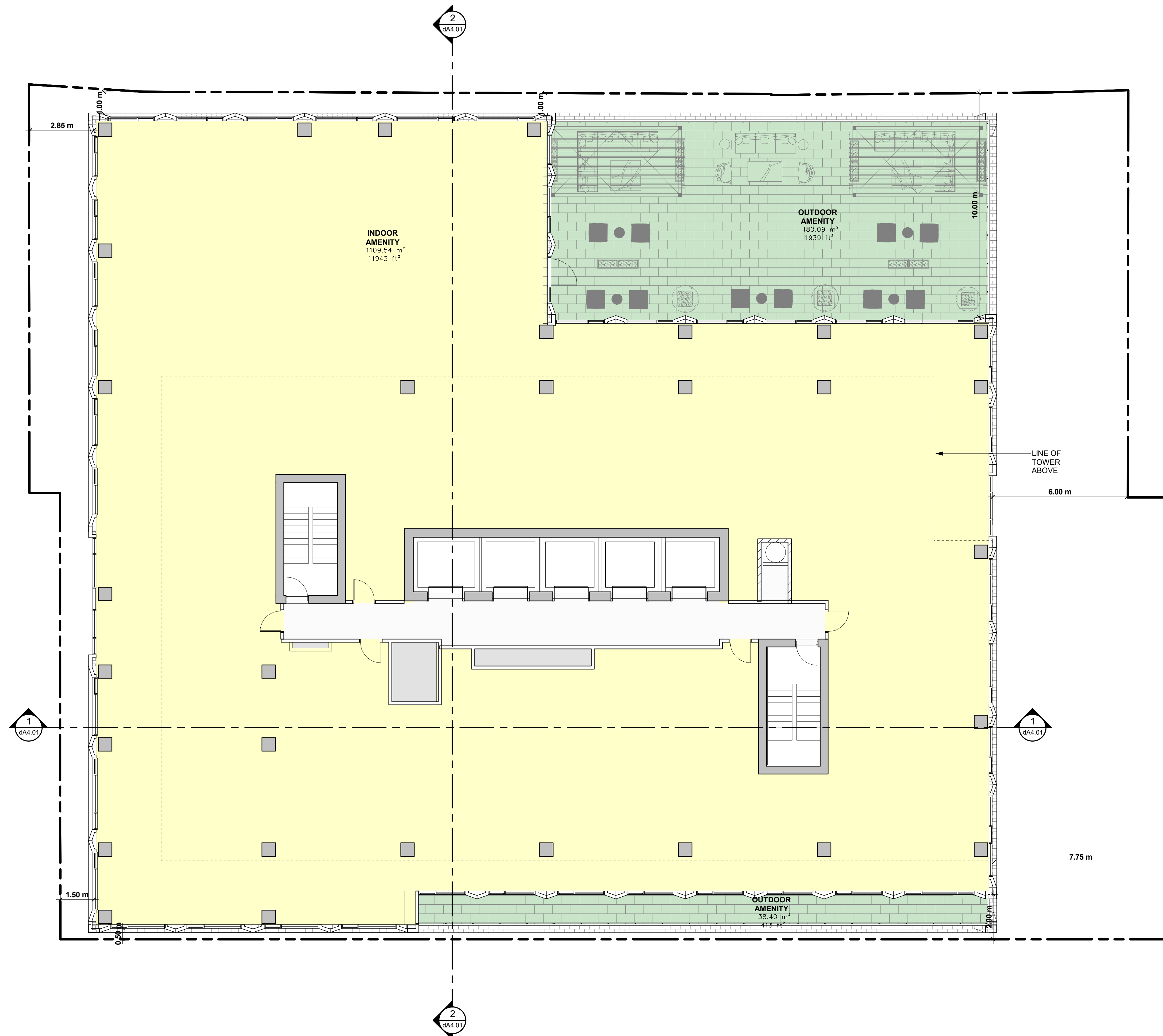
**dA2.07**



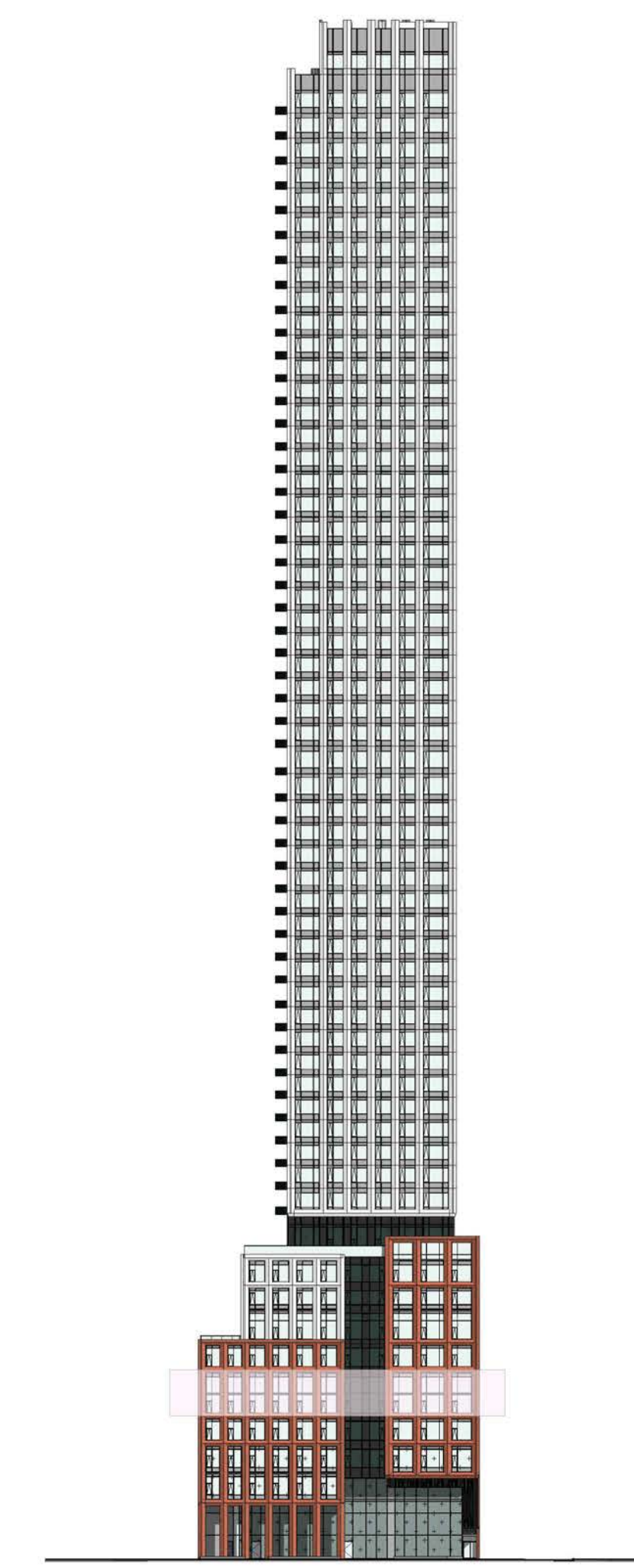
West Key Elevation 2  
1 : 750



12 A2 Floor Plan - Level 3 - 4 1  
1 : 100



12 A2 Floor Plan - Level 5 1  
1 : 100 dA2.09

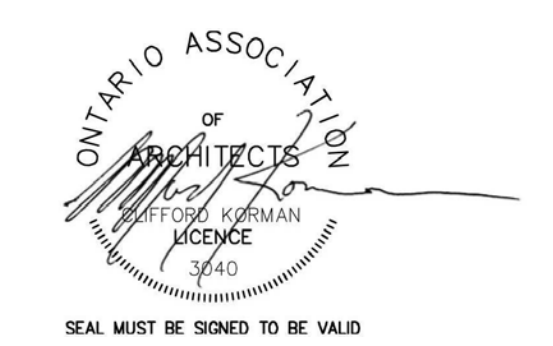


West Key Elevation 2  
1 : 750 dA2.09

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No. Revision Date

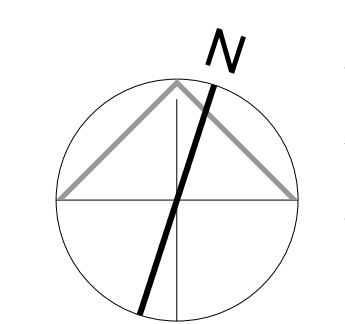
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Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 5**

Scale:  
As indicated  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:



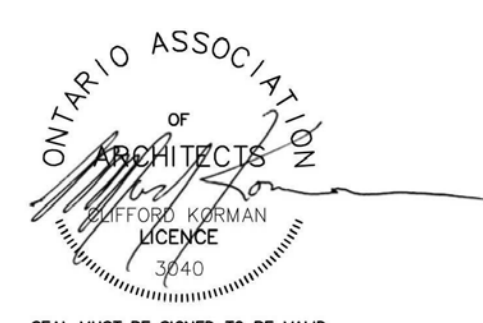
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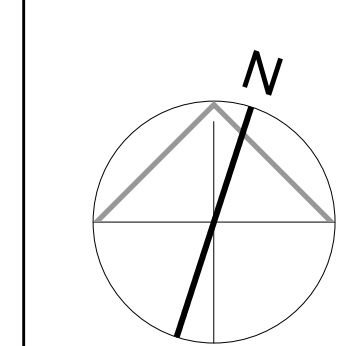
No.: 01	Issued for: Rezoning & SPA Submission	July 15, 2022
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Client:  
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561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 6**

Scale:  
As indicated  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:

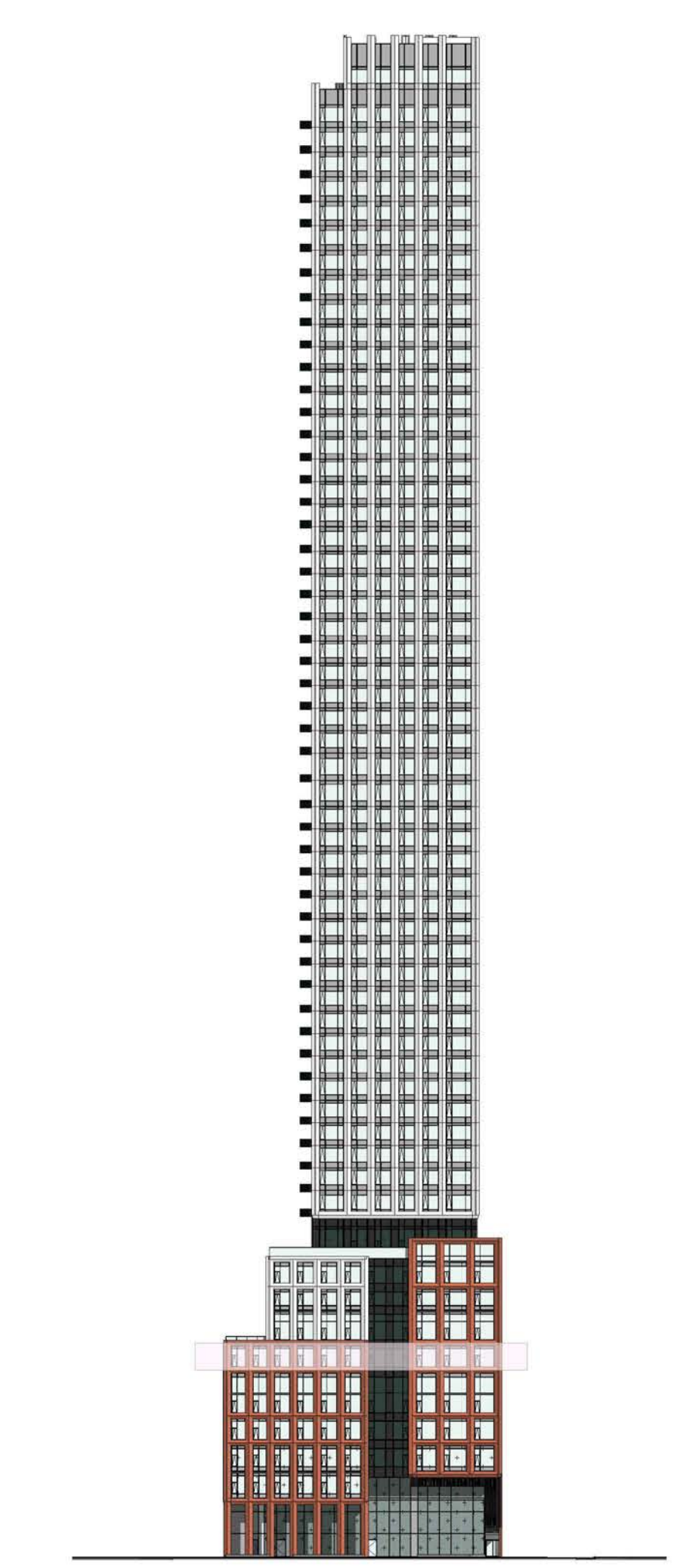


**dA2.10**

Plot Date: 7/14/2022 4:45:31 PM File Path: C:\Users\3201\Documents\22-054\_01.dwg Plot Size: 800x1000



12 A2 Floor Plan - Level 6 1  
1 : 100 dA2.10



West Key Elevation 2  
1 : 750 dA2.10

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No.:	Revision:	

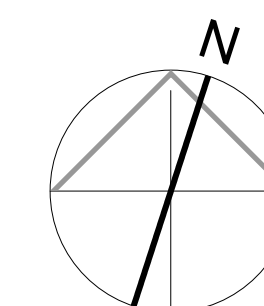
No. 01	Issued for Rezoning & SPA Submission	July 15, 2022
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Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 7**

Scale:  
**As indicated**  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
**22-054**  
Date:  
**July 15, 2022**  
Drawing No.:

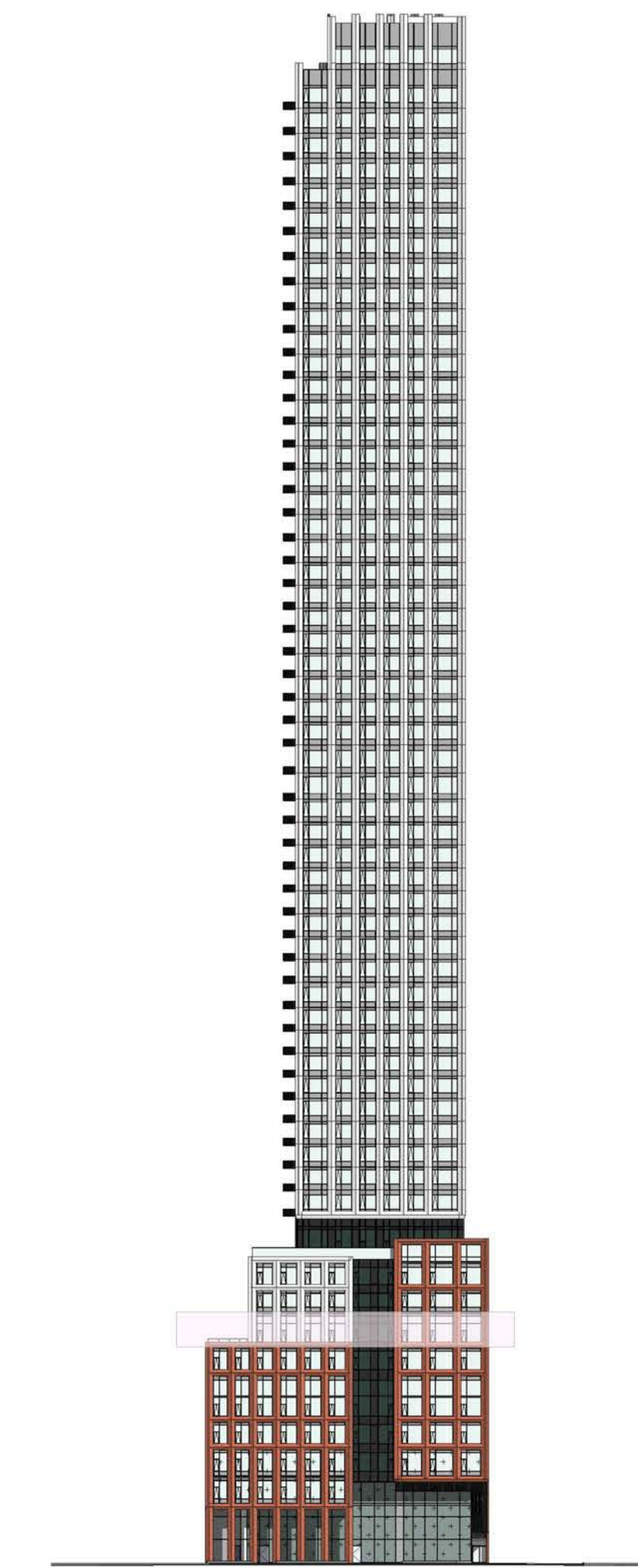


**dA2.11**

Plot Date: 7/14/2022 8:45:37 AM File Path: C:\Users\3201\Documents\22-054\22-054.dwg



12 A2 Floor Plan - Level 7 **1**  
1 : 100 dA2.11



West Key Elevation **2**  
1 : 750 dA2.11



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561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 8-9**

Scale:  
**As indicated**

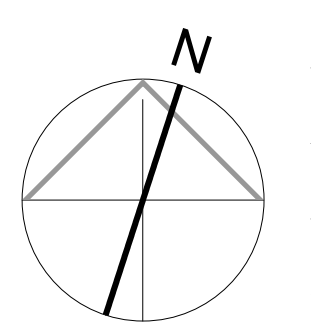
Drawn by:  
**S.V.**

Checked by:  
**R.P.**

Project No.:  
**22-054**

Date:  
**July 15, 2022**

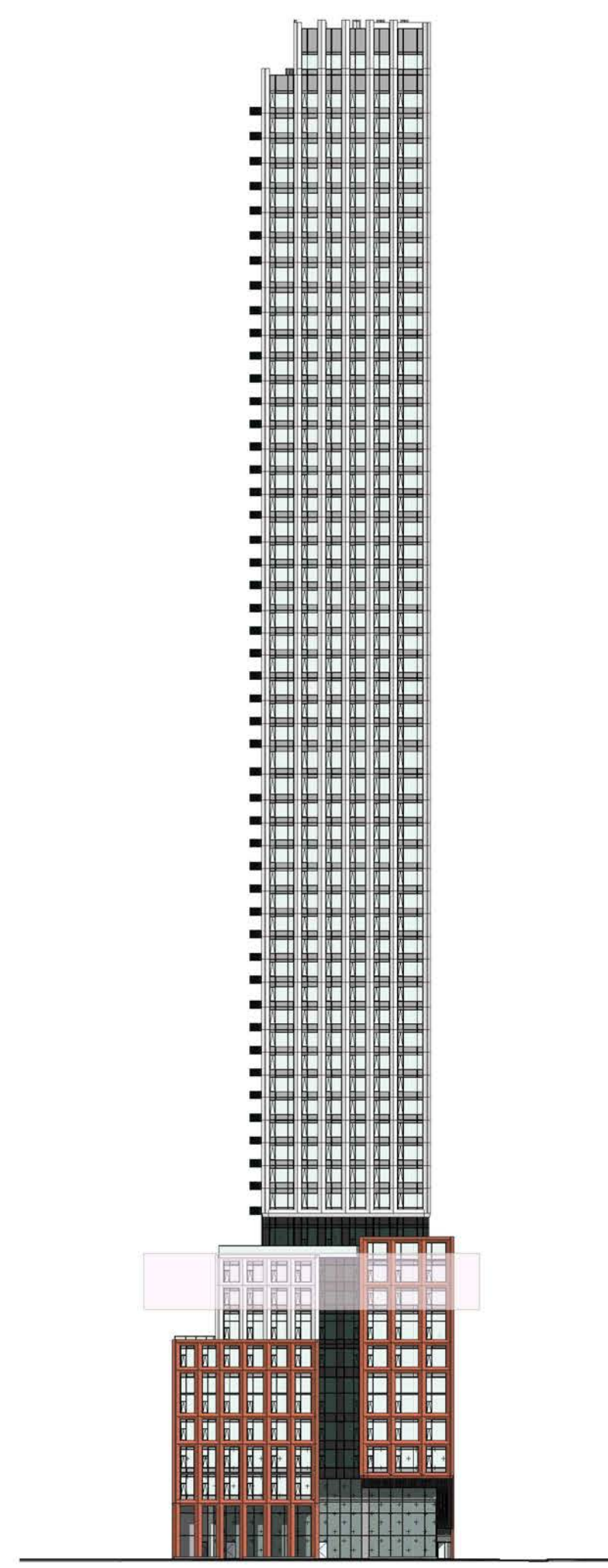
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**dA2.12**



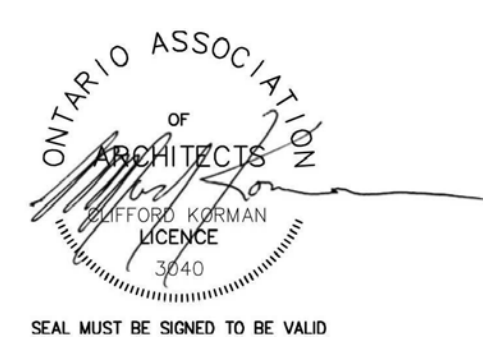
12 A2 Floor Plan - Level 8-9 1  
1 : 100 dA2.12



West Key Elevation 2  
1 : 750 dA2.12

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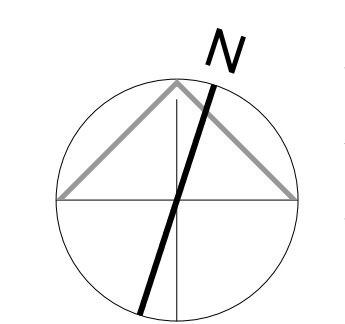
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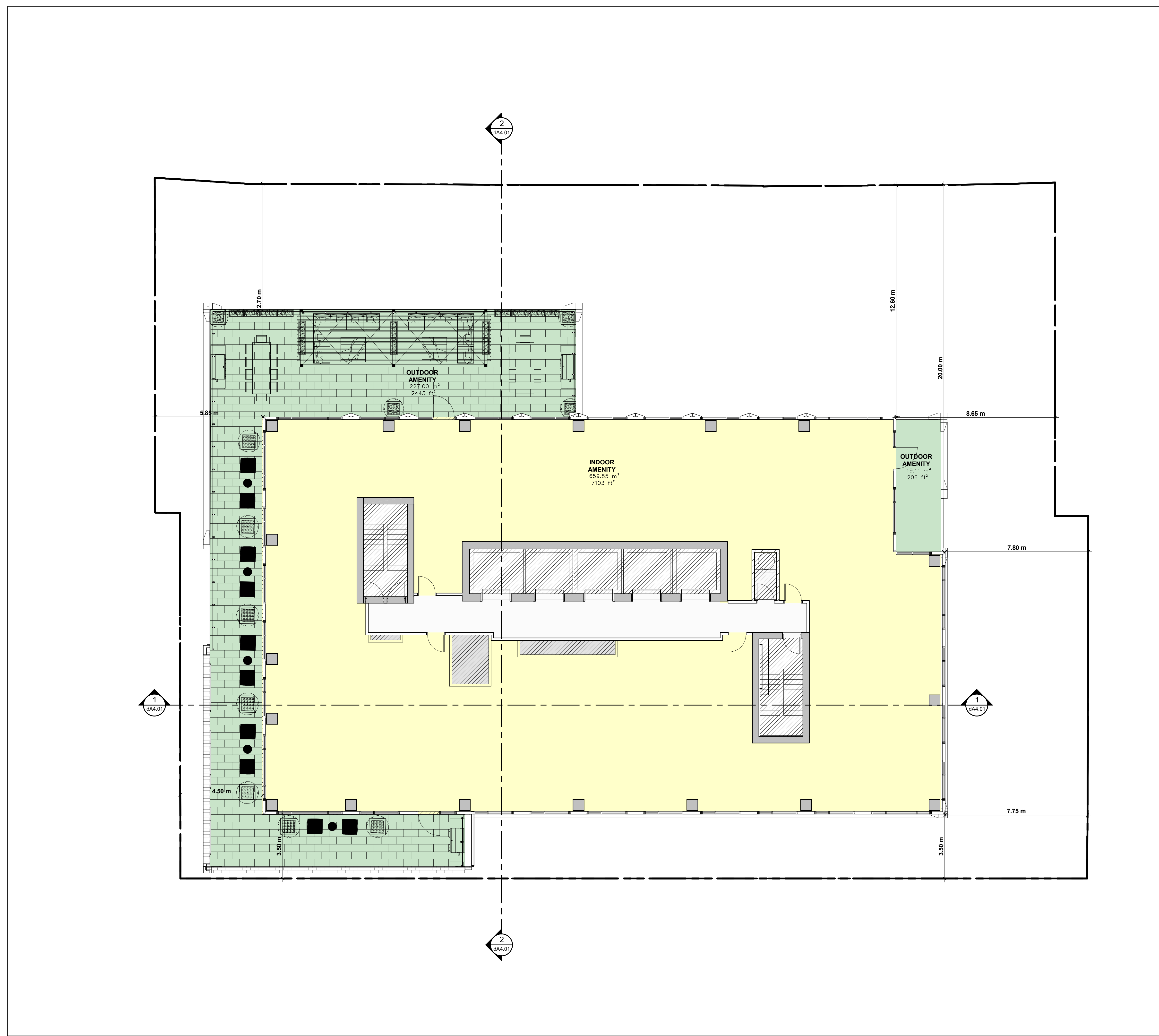
Drawing Title:  
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Scale:  
As indicated  
Drawn by:  
S.V.  
Checked by:  
R.P.  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:

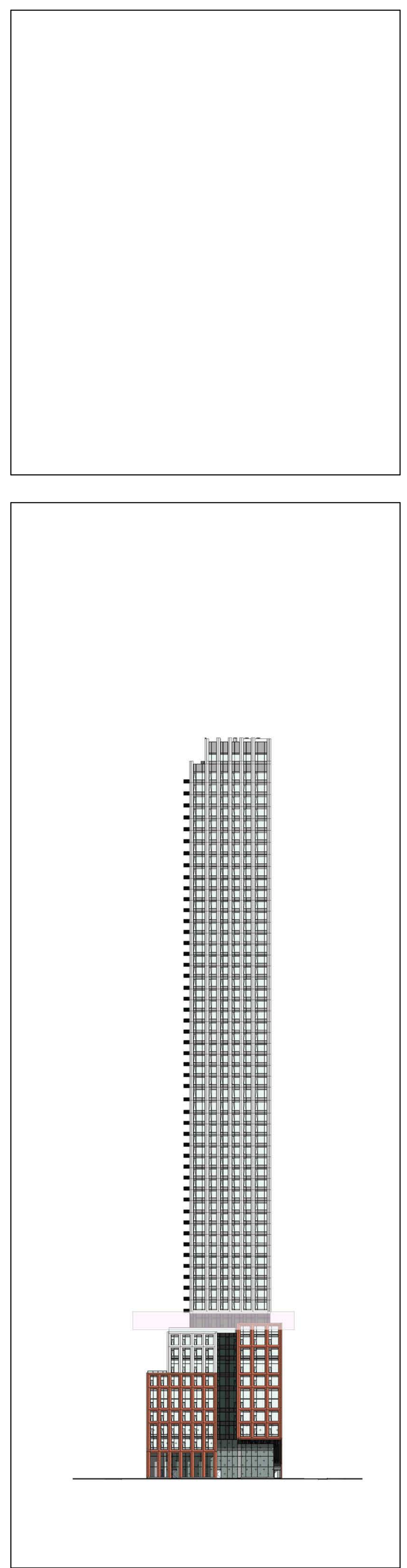


**dA2.13**

Plot Date: 7/17/2022 4:47:08 PM File Path: C:\Users\j201\Documents\22-054\_01.dwg Plot Size: 800x1000



12 A2 Floor Plan - Level 10 **1**  
1 : 100 dA2.13



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561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 11-29 & 31-49**

Scale:  
**As indicated**

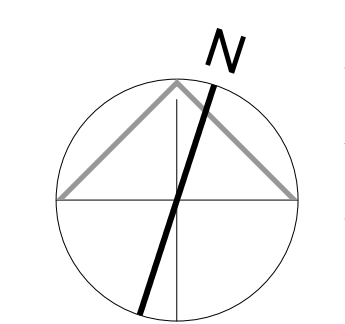
Drawn by:  
**S.V**

Checked by:  
**R.P**

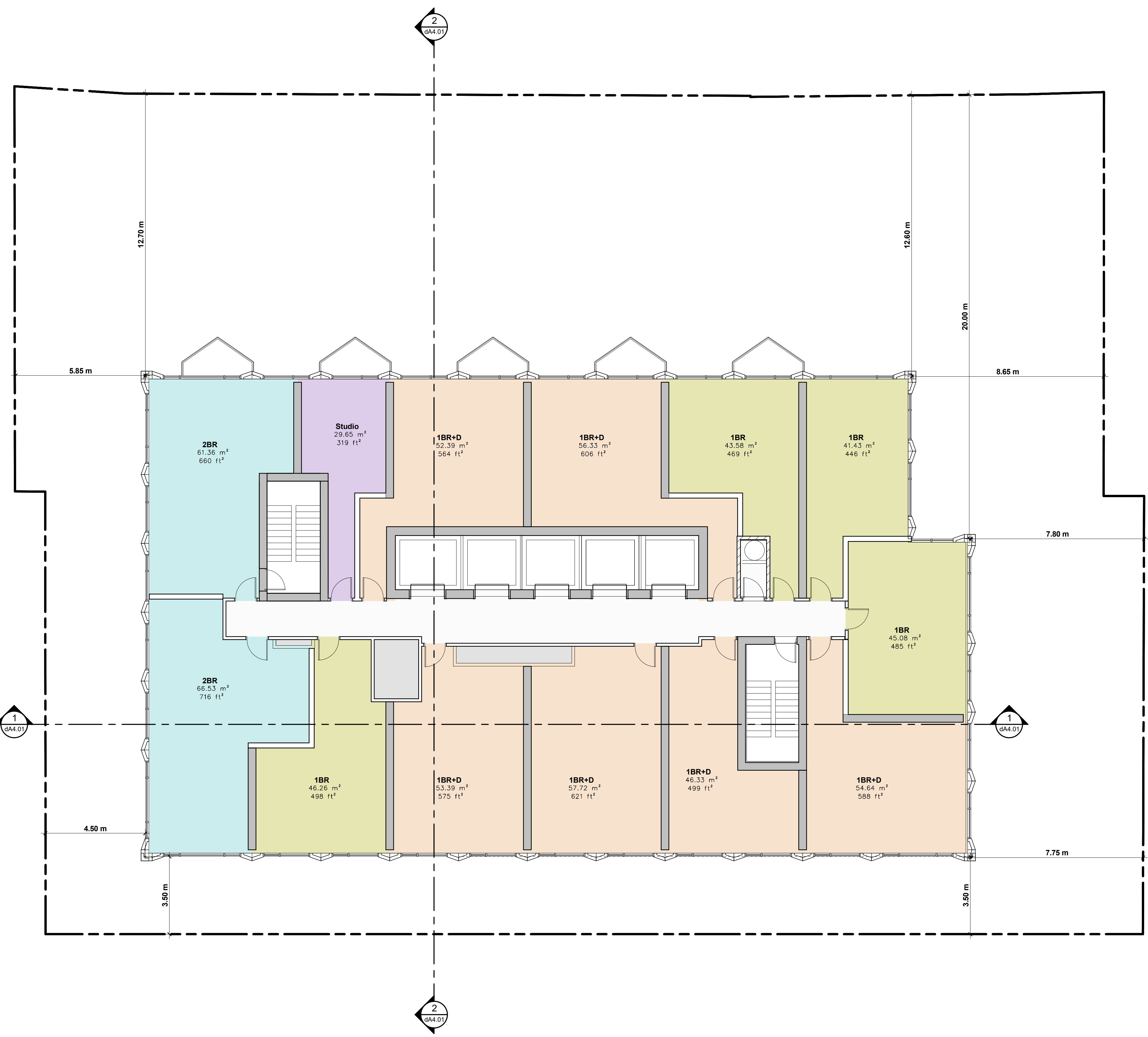
Project No.:  
**22-054**

Date:  
**July 15, 2022**

Drawing No.:  
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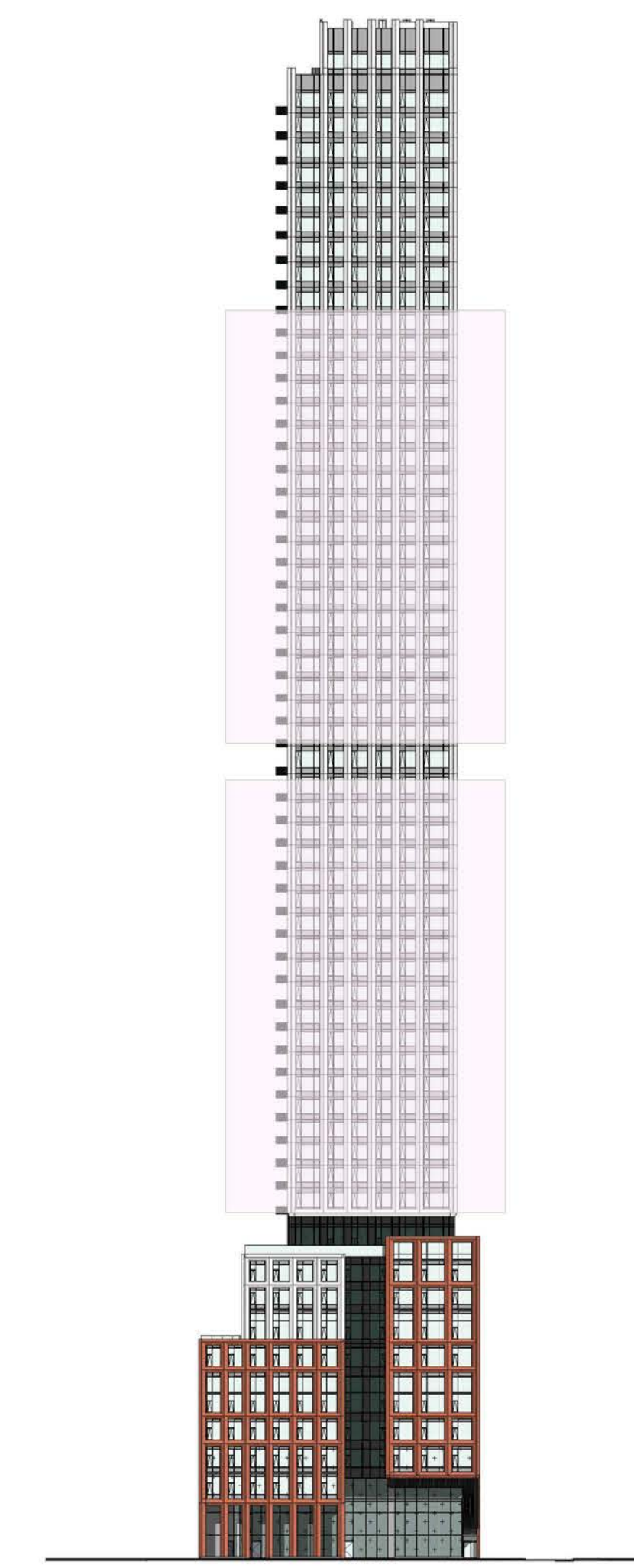


**dA2.14**



Typical Tower Plan - Level 11 - 49 **1**  
1 : 100 dA2.14

West Key Elevation **2**  
1 : 750 dA2.14



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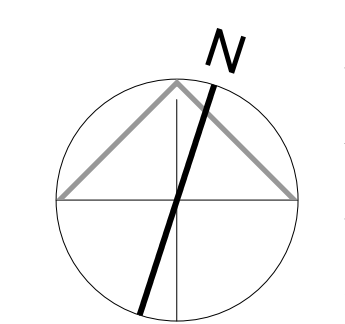
No.: 01	Issued for: Rezoning & SPA Submission	July 15, 2022
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Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 30**

Scale:  
**As indicated**  
Drawn by:  
**S.V**  
Checked by:  
**R.P**  
Project No.:  
**22-054**  
Date:  
**June 15, 2022**  
Drawing No.:

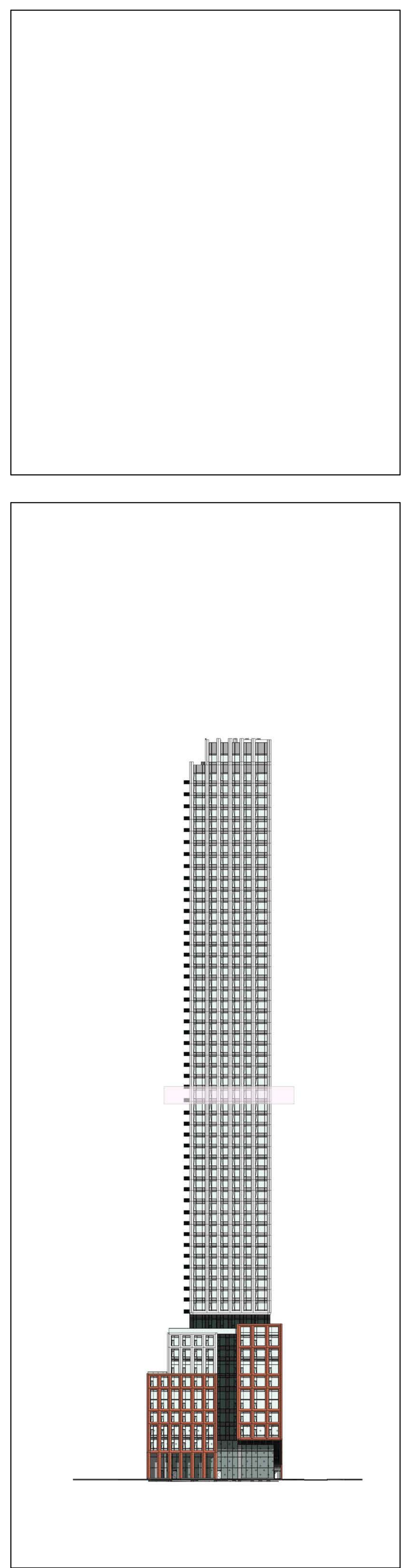


**dA2.15**

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LEVEL 30 **1**  
1 : 100 dA2.15



West Key Elevation **2**  
1 : 750 dA2.15

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**KIRKOR**  
ARCHITECTS AND PLANNERS

20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		
No.:	Revision:	Date:

No.: 01	Issued for: Rezoning & SPA Submission	July 15, 2022
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Client:  
**Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**Floor Plan Level 50-58**

Scale:  
**As indicated**

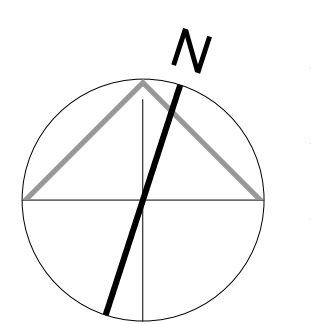
Drawn by:  
**S.V**

Checked by:  
**R.P**

Project No.:  
**22-054**

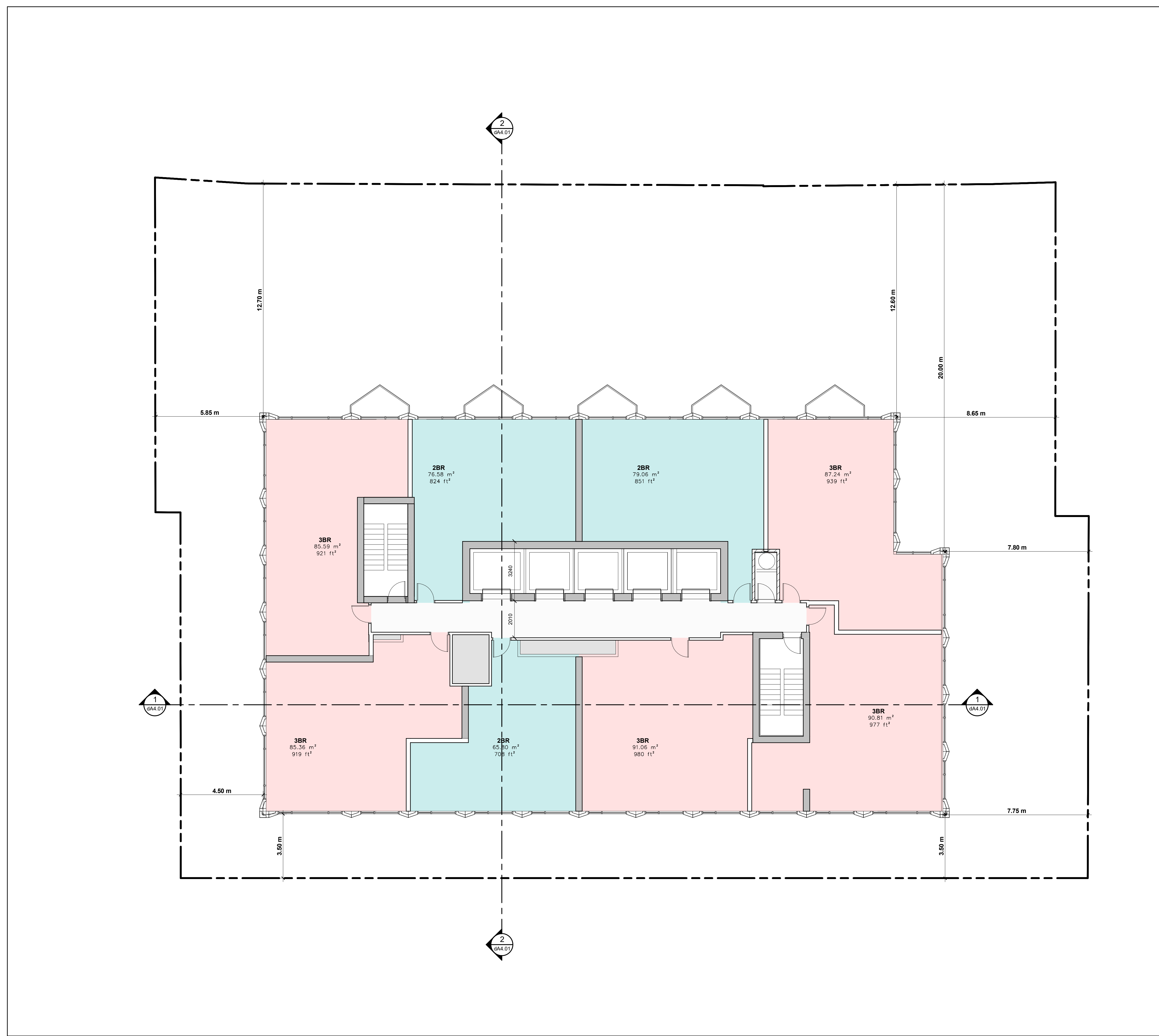
Date:  
**July 15, 2022**

Drawing No.:

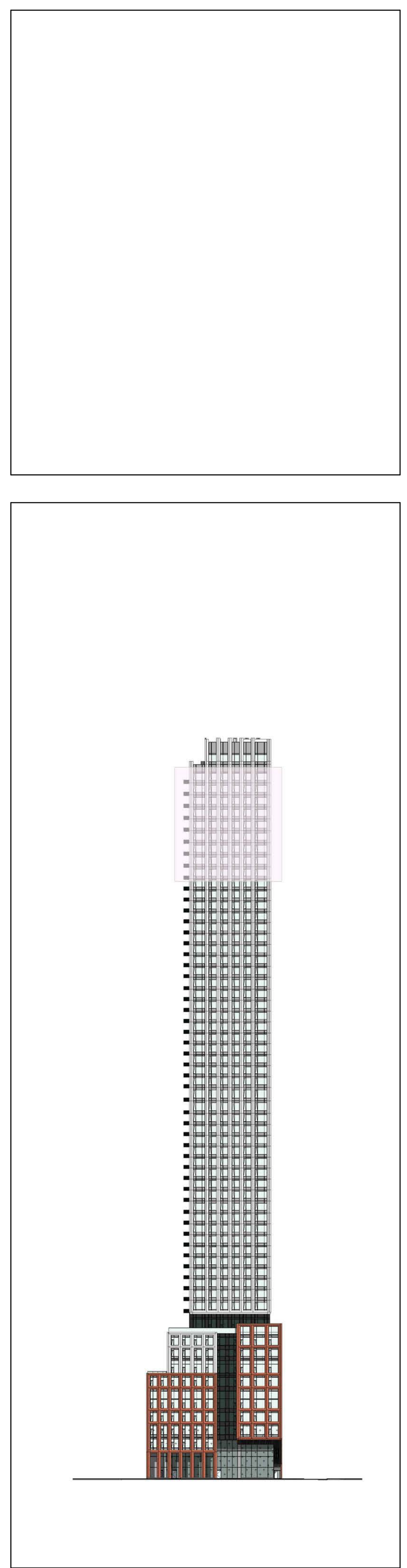


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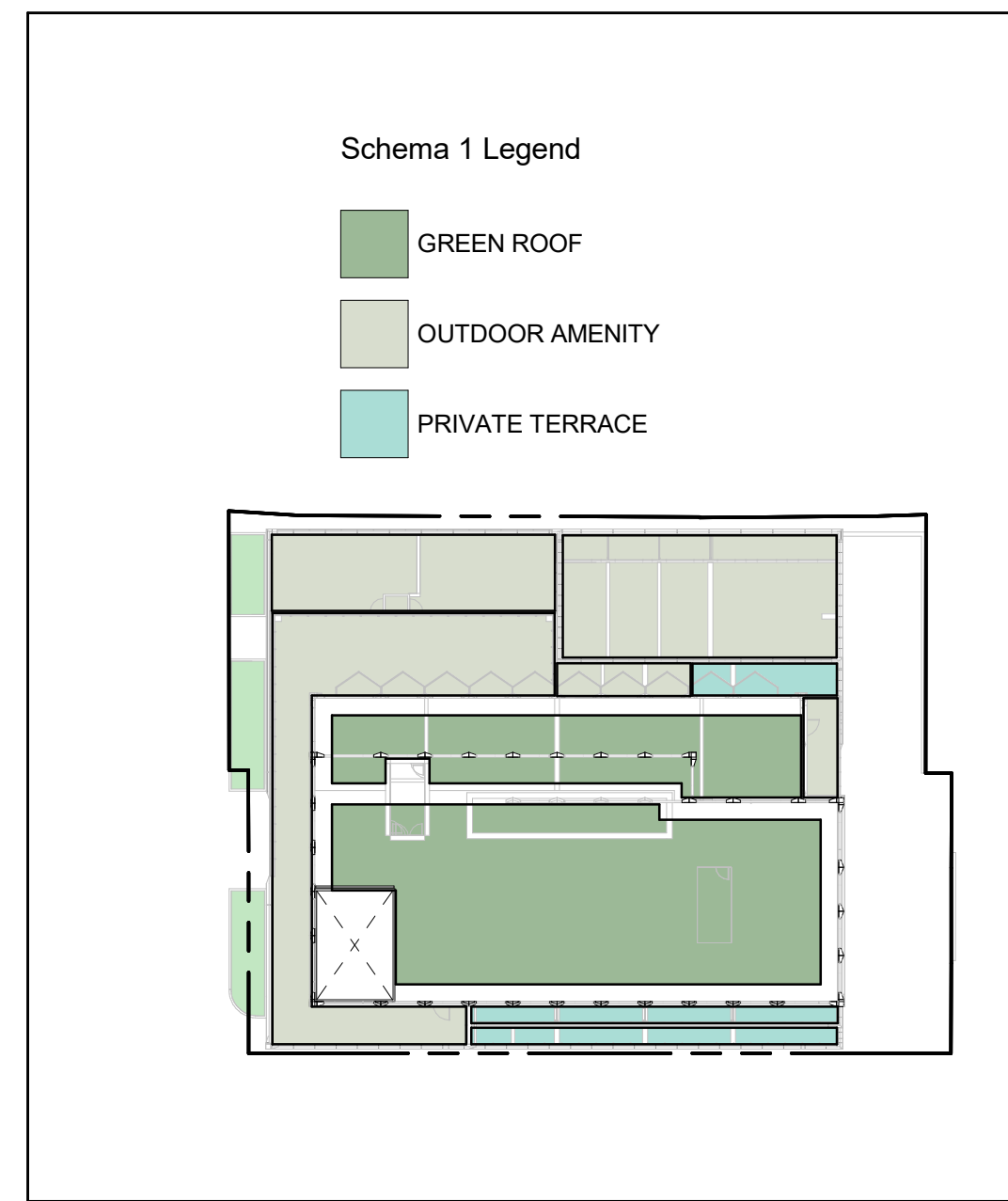
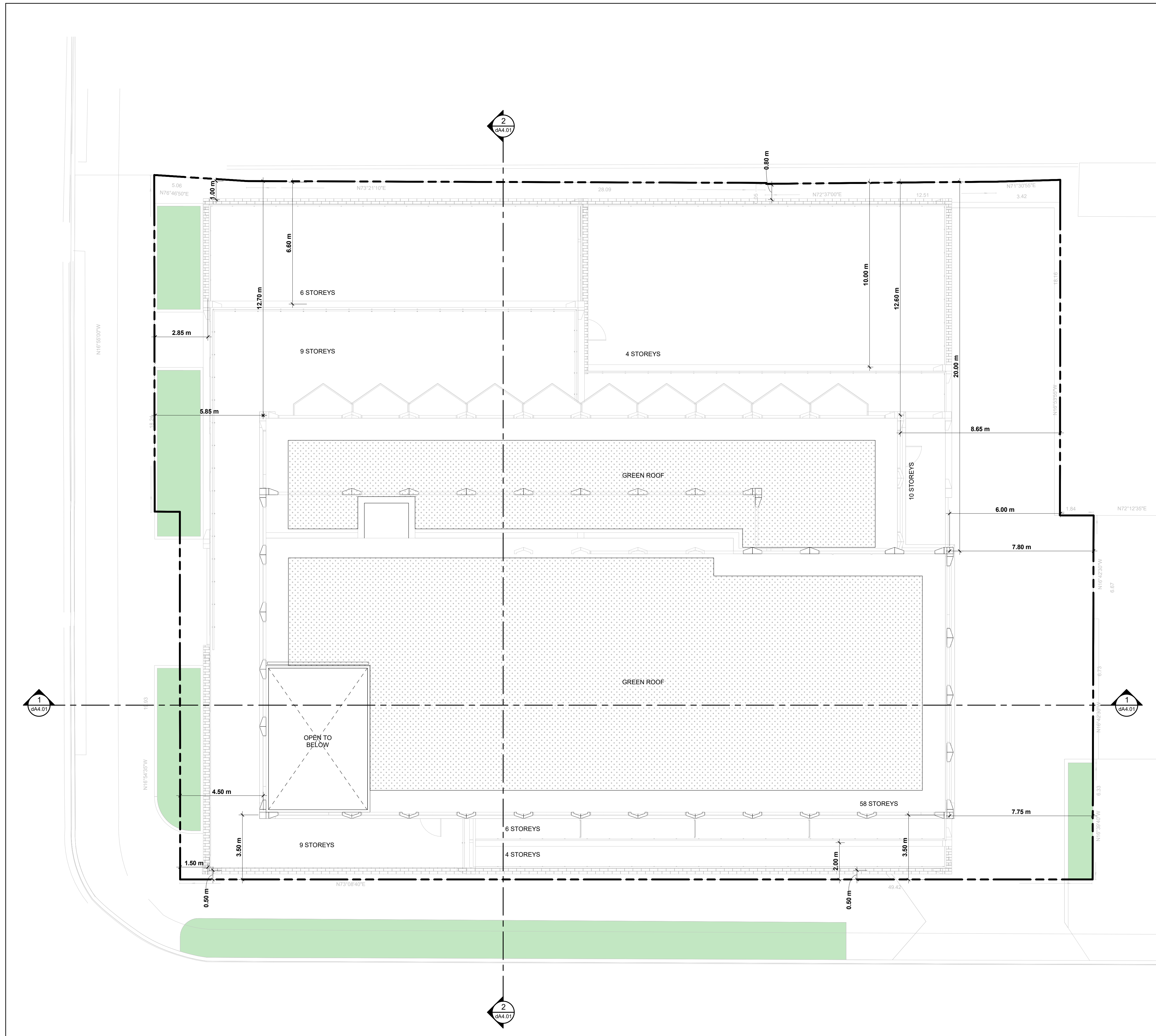
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12 A2 Floor Plan - Level 50-58 **1**  
1 : 100 dA2.17



West Key Elevation **2**  
1 : 750 dA2.17



**Area Schedule (TGS)**

Name	Level	Area: Type of Area	Area
GREEN ROOF		GREEN ROOF	393.88 m <sup>2</sup>
GREEN ROOF	T.O MPH	GREEN ROOF	161.50 m <sup>2</sup>
GREEN ROOF: 2	T.O MPH	GREEN ROOF	555.37 m <sup>2</sup>
OUTDOOR AMENITY		OUTDOOR AMENITY	212.33 m <sup>2</sup>
OUTDOOR AMENITY	T.O MPH	OUTDOOR AMENITY	165.98 m <sup>2</sup>
OUTDOOR AMENITY	T.O MPH	OUTDOOR AMENITY	106.56 m <sup>2</sup>
OUTDOOR AMENITY	T.O MPH	OUTDOOR AMENITY	16.80 m <sup>2</sup>
OUTDOOR AMENITY	T.O MPH	OUTDOOR AMENITY	21.70 m <sup>2</sup>
OUTDOOR AMENITY: 5	T.O MPH	OUTDOOR AMENITY	523.37 m <sup>2</sup>
PRIVATE TERRACE		PRIVATE TERRACE	29.59 m <sup>2</sup>
TERRACE	T.O MPH	PRIVATE TERRACE	30.57 m <sup>2</sup>
TERRACE	T.O MPH	PRIVATE TERRACE	22.83 m <sup>2</sup>
PRIVATE TERRACE: 3	T.O MPH	PRIVATE TERRACE	82.80 m <sup>2</sup>

**Green Roof Statistics**

	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (m <sup>2</sup> )	43,176.31
Total Roof Area (m <sup>2</sup> )	1,357.36
Area of Residential Private Terraces (m <sup>2</sup> )	99.60
Rooftop Outdoor Amenity Space, if in a Residential Building (m <sup>2</sup> )	508.57
Area of Renewable Energy Devices (m <sup>2</sup> )	0
Tower (s)Roof Area with floor plate less than 750 m <sup>2</sup>	0
Total Available Roof Space (m <sup>2</sup> )	791.19
Green Roof Coverage	791.19
Coverage of Available Roof Space (m <sup>2</sup> )	Required: 450.67 Proposed: 655.37
Coverage of Available Roof Space (%)	60 74.1

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Revisions:

No.	Revision	Date

No.: 01 Issued for: Rezoning & SPA Submission July 15, 2022

Client: **Originate**

561 JARVIS, 102-120 EARL TORONTO

Drawing Title: **Roof Plan**

Scale: **As indicated**

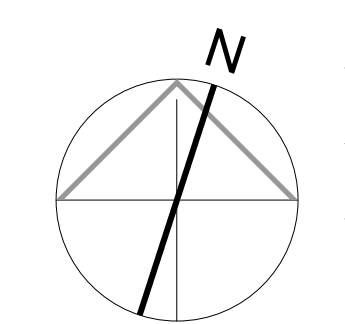
Drawn by: **S.V**

Checked by: **R.P**

Project No.: **22-054**

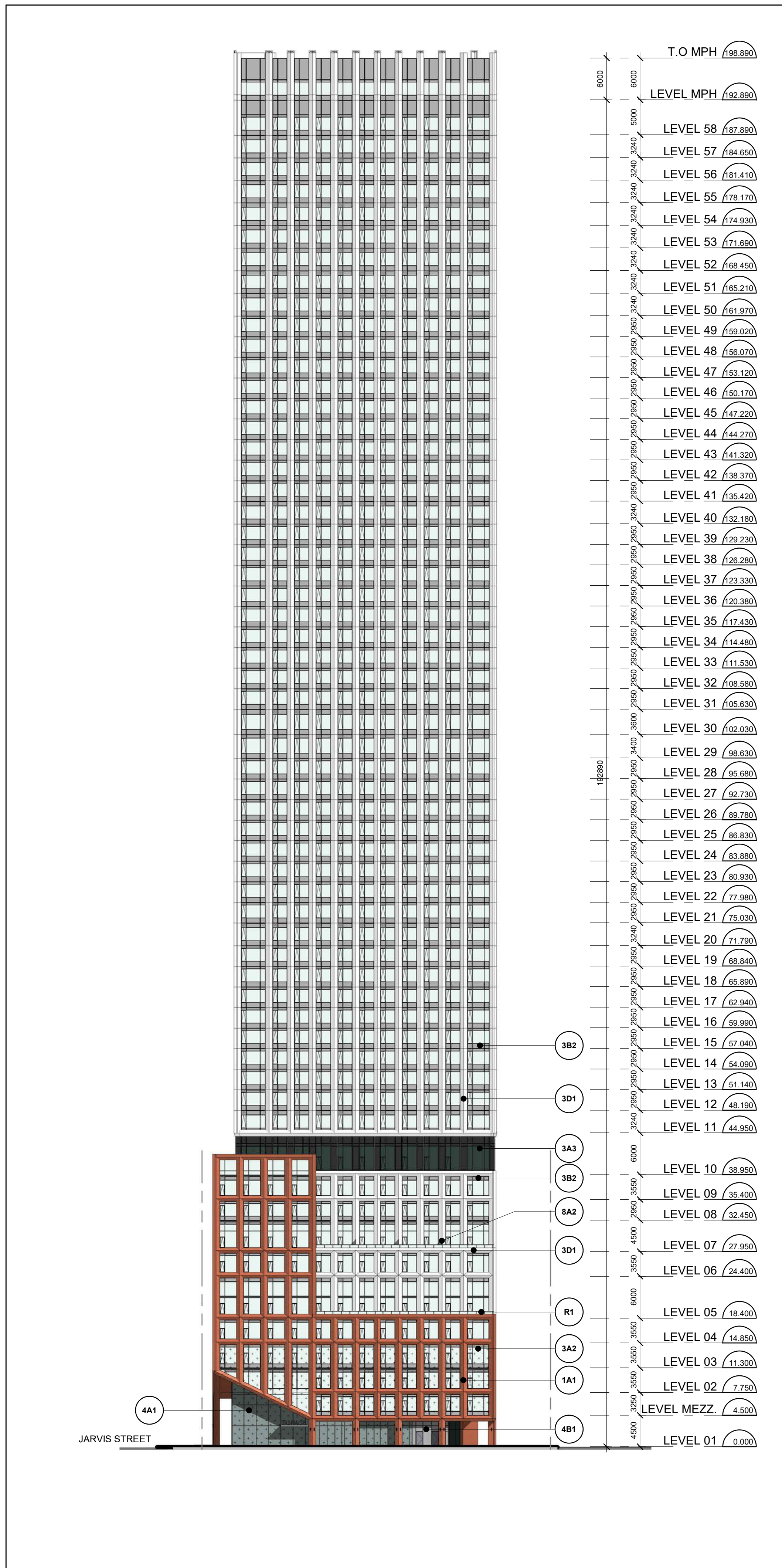
Date: **July 15, 2022**

Drawing No.:

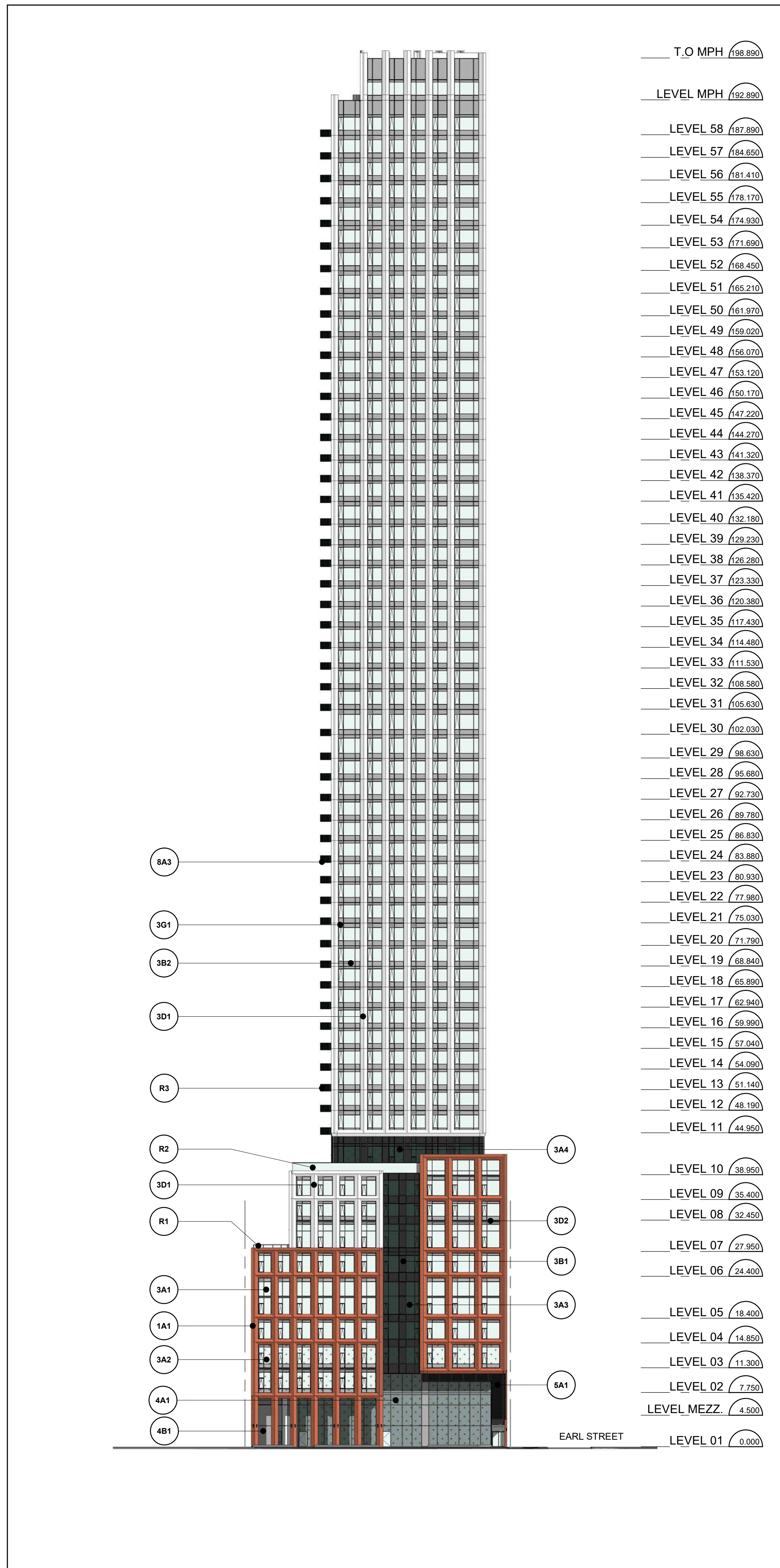


**dA2.18**

T.O MPH **1**  
1 : 100 **dA2.18**



South Elevation 1  
1 : 400 dA3.01



West Elevation 2  
1 : 400 dA3.01

**MATERIAL LEGEND**

- 1A1. PRECAST CONCRETE - BRICK INLAY (BROWN BRICK WITH VARIATION)
- 3A1. WINDOW WALL - CLEAR VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL
- 3A2. WINDOW WALL - VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN (DOTS)
- 3A3. WINDOW WALL - DARK VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL
- 3A4. WINDOW WALL - DARK VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN (DOTS)
- 3B1. WINDOW WALL - SPANDREL GLASS ON PREFINISHED ALUMINUM WINDOW WALL (DARK GREY)
- 3B2. WINDOW WALL - SPANDREL GLASS ON PREFINISHED ALUMINUM WINDOW WALL (LIGHT GREY)
- 3D1. WINDOW WALL - METAL PANEL ON PREFINISHED ALUMINUM WINDOW WALL (WHITE)
- 3D2. WINDOW WALL - METAL PANEL ON PREFINISHED ALUMINUM WINDOW WALL (WHITE)
- 3D2. METAL SLAB COVER (DARK GREY)
- 3G1. METAL LOUVRE (DARK GREY)
- 3G2. METAL LOUVRE (LIGHT GREY)
- 4A1. CURTAIN WALL - VISION GLASS ON PREFINISHED ALUMINUM CURTAIN WALL SYSTEM /W BIRD FRIENDLY FRIT PATTERN (DOTS)
- 4A2. CURTAIN WALL - VISION GLASS ON PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
- 4B1. CURTAIN WALL - SPANDREL GLASS ON PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
- 5A1. DARK METAL SOFFIT WITH PERFORATIONS & LIGHTING
- 8A1. BALCONY DIVIDER - FRITTED GLASS
- 9A1. BRUSHCOAT FINISH - WHITE (UNDERSIDE OF BALCONY SLAB)
- R1. CLEAR VISION GLASS GUARD & ALUMINUM RAILING
- R2. CLEAR VISION GLASS GUARD & ALUMINUM WIND SCREEN
- R3. DARK VISION GLASS GUARD & ALUMINUM RAILING
- R4. CLEAR VISION GLASS GUARD & ALUMINUM RAILING /W BIRD FRIENDLY FRIT PATTERN (DOTS)

Bird-Friendly Design Statistics

	Elevation First 15m Above Grade				Total (m <sup>2</sup> )	Total (%)
	North	South	East	West		
Glazing Area (m <sup>2</sup> )	165	294	147	347	973	100%
Glazing Area (m <sup>2</sup> ) Facing High Hazard Area	n/a	n/a	n/a	n/a		
Untreated Area (m <sup>2</sup> )	20	20	9	32	81	8.32%
Treated Area (m <sup>2</sup> )	145	274	138	315	892	91.68%
Visual Markers (m <sup>2</sup> )	77	274	148	315	834	85.71%
Non-reflective glass (m <sup>2</sup> )						
Shaded (m <sup>2</sup> )	68				68	6.99%

	Elevation First 4m Above Rooftop Vegetation*				Total (m <sup>2</sup> )	Total (%)
	North (Floor 5,7,10)	South (Floor 10)	East (Floor #1)	West (Floor 10)		
Glazing Area (m <sup>2</sup> )	168	26	39	49	282	
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	168	26	39	49	282	100
Non-reflective glass (m <sup>2</sup> )					0	
Visual Markers (m <sup>2</sup> )	168	26	39	49	282	100
Shaded (m <sup>2</sup> )					0	

\* Include this section only when applicable and provide relevant floor numbers for reference

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No.: Revision: Date:

No.:01 Issued for: Rezoning & SPA Submission July 15, 2022

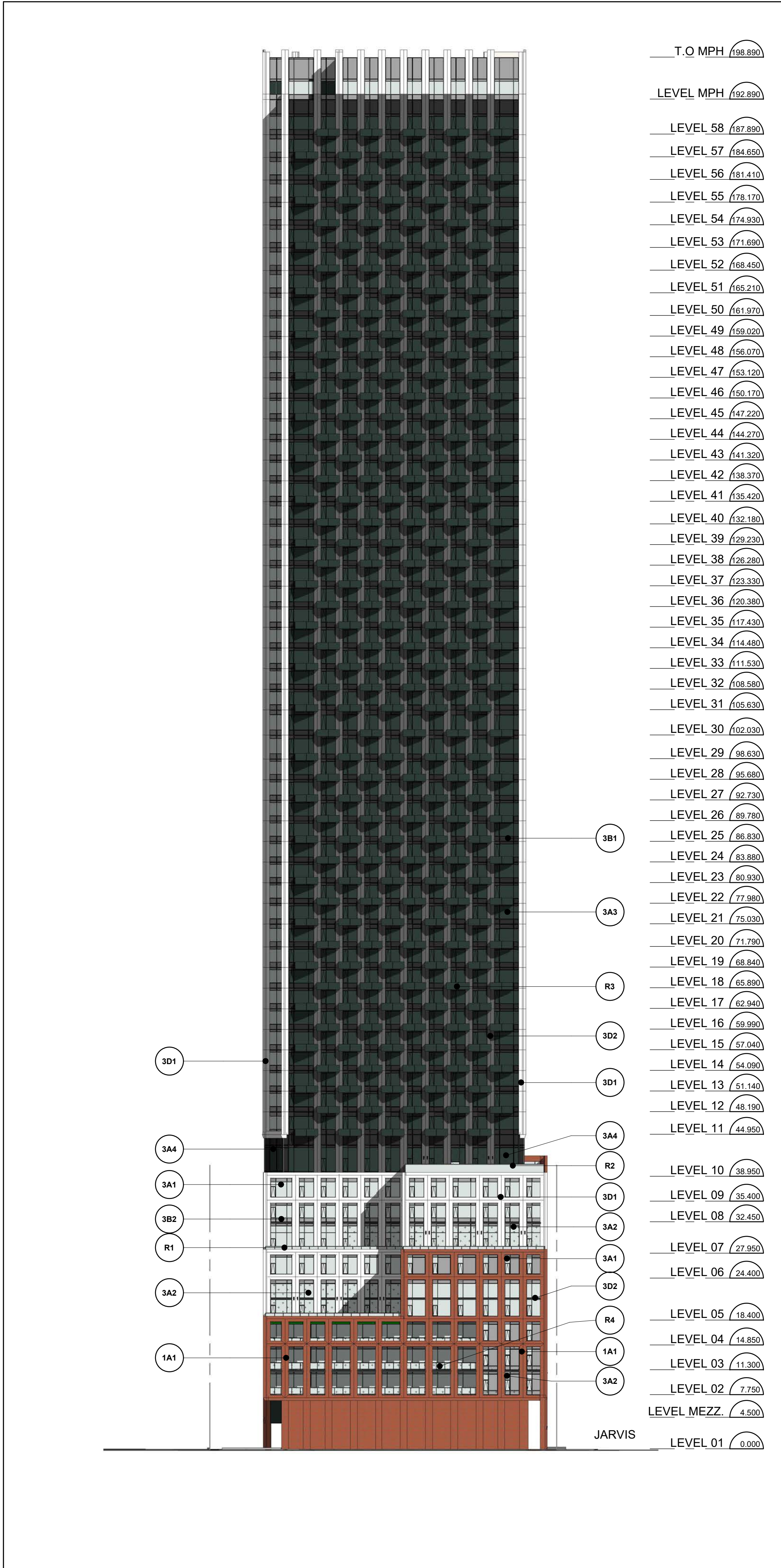
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**Originate**

561 JARVIS, 102-120 EARL TORONTO

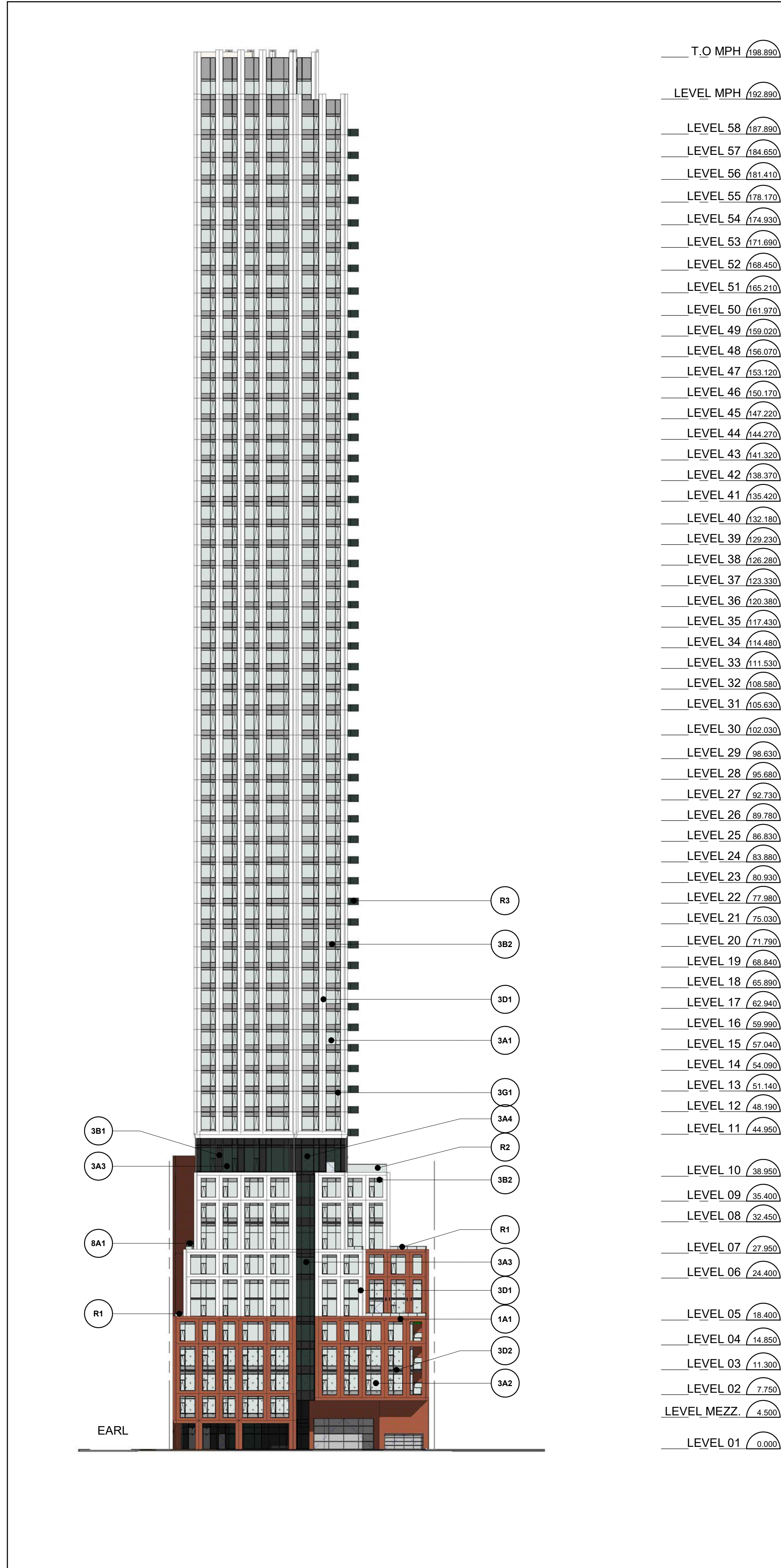
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**South & West Elevations**

Scale:  
**1 : 400**  
Drawn by:  
**S.V.**  
Checked by:  
**R.P.**  
Project No.:  
**22-054**  
Date:  
**July 15, 2022**  
Drawing No.:

**dA3.01**



North Elevation 1  
1 : 400  
dA3.02



East Elevation 2  
1 : 400  
dA3.02

**MATERIAL LEGEND**

- 1A1. PRECAST CONCRETE - BRICK INLAY (BROWN BRICK WITH VARIATION)
- 3A1. WINDOW WALL - CLEAR VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL
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- 3A3. WINDOW WALL - DARK VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL
- 3A4. WINDOW WALL - DARK VISION GLASS ON PREFINISHED ALUMINUM WINDOW WALL /W BIRD FRIENDLY FRIT PATTERN (DOTS)
- 3B1. WINDOW WALL - SPANDREL GLASS ON PREFINISHED ALUMINUM WINDOW WALL (DARK GREY)
- 3B2. WINDOW WALL - SPANDREL GLASS ON PREFINISHED ALUMINUM WINDOW WALL (LIGHT GREY)
- 3D1. WINDOW WALL - METAL PANEL ON PREFINISHED ALUMINUM WINDOW WALL (WHITE)
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Glazing Area (m <sup>2</sup> ) Facing High Hazard Area	n/a	n/a	n/a	n/a	0	0%
Untreated Area (m <sup>2</sup> )	20	20	9	32	81	8.32%
Treated Area (m <sup>2</sup> )	145	274	138	315	892	91.68%
Visual Markers (m <sup>2</sup> )	77	274	148	315	834	85.71%
Non-reflective glass (m <sup>2</sup> )						
Shaded (m <sup>2</sup> )	68				68	6.99%

	Elevation First 4m Above Rooftop Vegetation*				Total (m <sup>2</sup> )	Total (%)
	North (Floor 5,7,10)	South (Floor 10)	East (Floor #)	West (Floor 10)		
Glazing Area (m <sup>2</sup> )	168	26	39	40	282	
Untreated Area (m <sup>2</sup> )					0	
Treated Area (m <sup>2</sup> )	168	26	39	40	282	100%
Non-reflective glass (m <sup>2</sup> )					0	
Visual Markers (m <sup>2</sup> )	168	26	39	40	282	100%
Shaded (m <sup>2</sup> )					0	

\* Include this section only when applicable and provide relevant floor numbers for reference

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**KIRKOR**  
ARCHITECTS AND PLANNERS

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No.: Revision: Date:

No.:01 Issued for: Rezoning & SPA Submission July 15, 2022

Client:  
**Originate**

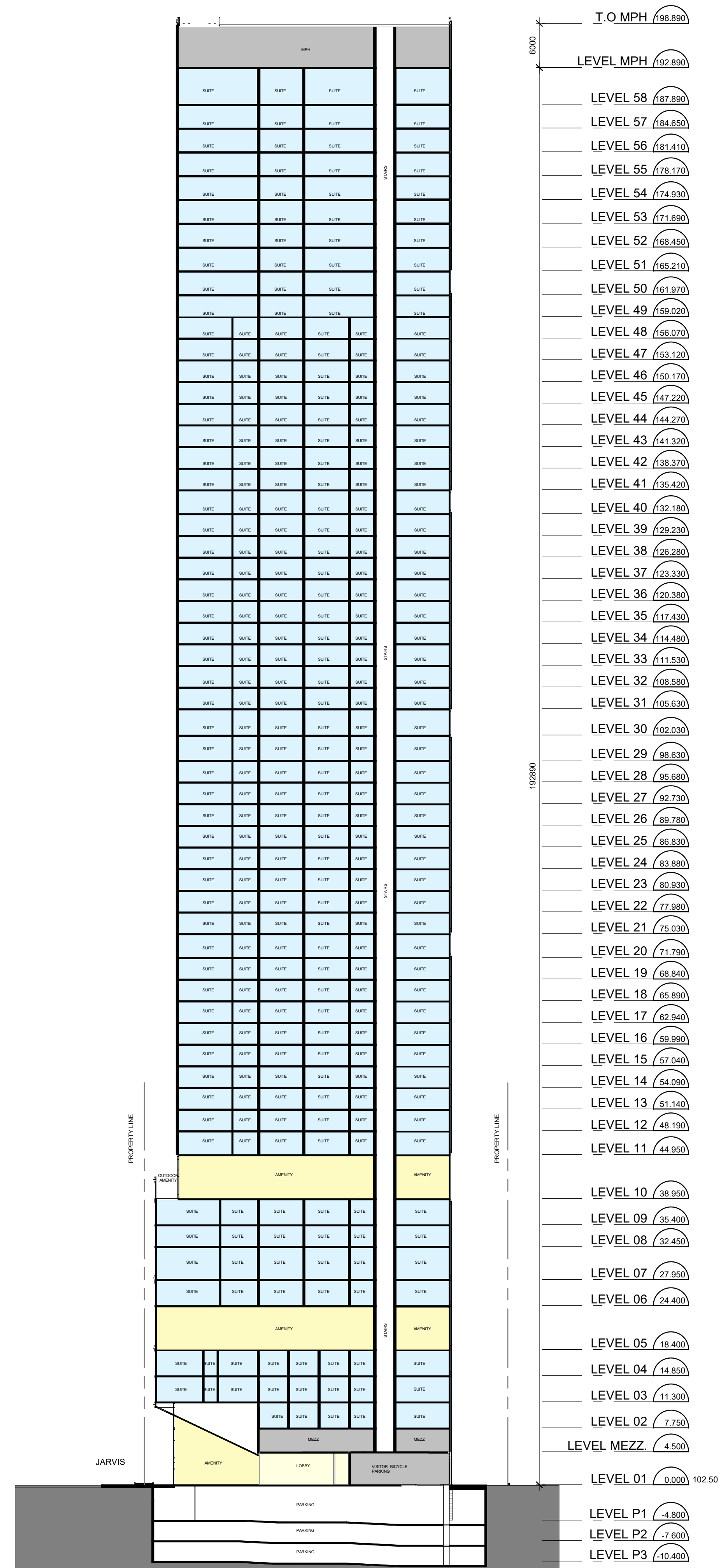
561 JARVIS, 102-120 EARL TORONTO

Drawing Title:  
**North & East Elevations**

Scale:  
**1 : 400**  
Drawn by:  
**S.V.**  
Checked by:  
**R.P.**  
Project No.:  
**22-054**  
Date:  
**July 15, 2022**  
Drawing No.:

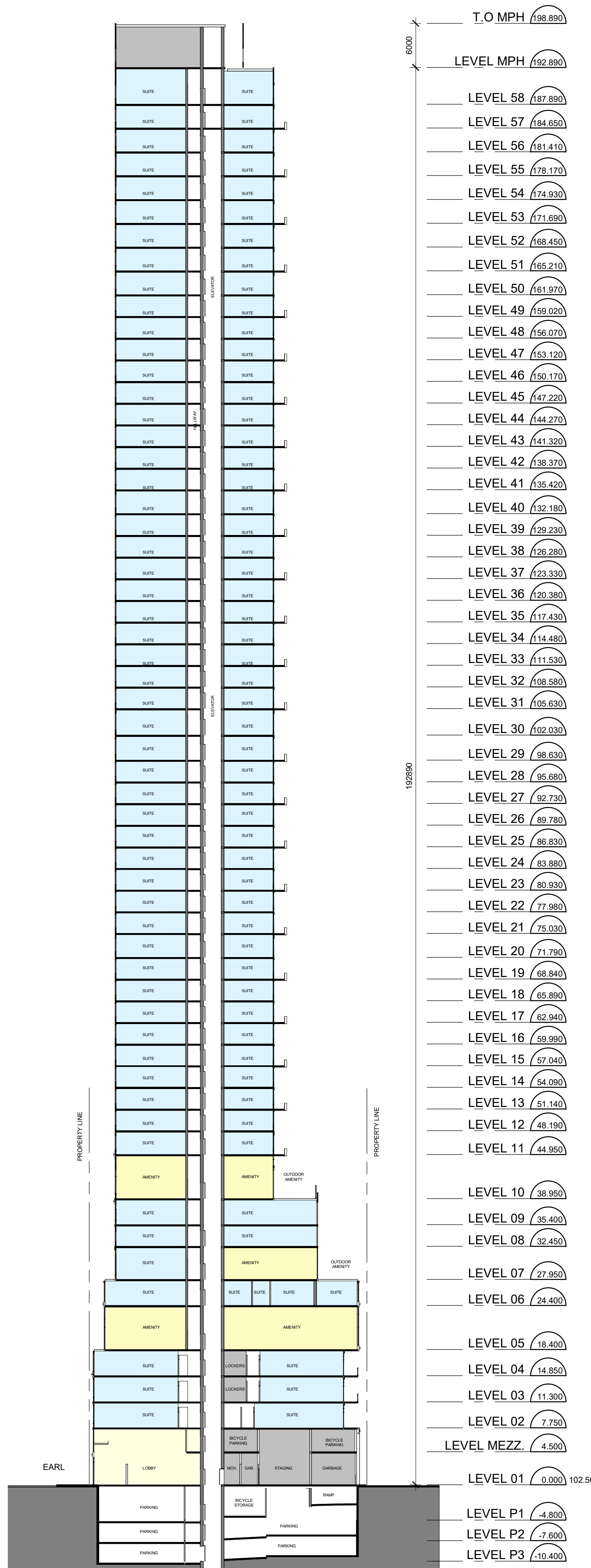
**dA3.02**





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- LEVEL MPH (192.890)
- LEVEL 58 (187.890)
- LEVEL 57 (184.650)
- LEVEL 56 (181.410)
- LEVEL 55 (178.170)
- LEVEL 54 (174.930)
- LEVEL 53 (171.690)
- LEVEL 52 (168.450)
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- LEVEL 30 (97.170)
- LEVEL 29 (93.930)
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- LEVEL 27 (87.450)
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- LEVEL 25 (80.970)
- LEVEL 24 (77.730)
- LEVEL 23 (74.490)
- LEVEL 22 (71.250)
- LEVEL 21 (68.010)
- LEVEL 20 (64.770)
- LEVEL 19 (61.530)
- LEVEL 18 (58.290)
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- LEVEL 16 (51.810)
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- LEVEL 13 (42.090)
- LEVEL 12 (38.850)
- LEVEL 11 (35.610)
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- LEVEL MEZZ (3.210)
- LEVEL 01 (0.000) 102.50
- LEVEL P1 (-4.800)
- LEVEL P2 (-7.600)
- LEVEL P3 (-10.400)

Section 3 1  
1 : 400 dA4.01



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- LEVEL 58 (187.890)
- LEVEL 57 (184.650)
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- LEVEL 02 (6.450)
- LEVEL MEZZ (3.210)
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- LEVEL P1 (-4.800)
- LEVEL P2 (-7.600)
- LEVEL P3 (-10.400)

Section 4 2  
1 : 400 dA4.01

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20 De Boers Drive Suite 400  
Toronto, ON M3J 0H1

Revisions:		Date:
No.:	Revision:	

No.:	Issued For:	Date:

Client:  
**Originate**

Proposed Residential Development

Drawing Title:  
**Building Sections**

Scale:  
1 : 400  
Drawn by:  
S.V  
Checked by:  
R.P  
Project No.:  
22-054  
Date:  
July 15, 2022  
Drawing No.:

**dA4.01**

Plot Date: 7/17/2022 8:53:02 AM The Path: C:\Users\3021\Documents\22-054.dwg Plot Date: 7/17/2022 8:53:02 AM

## **APPENDIX III**

Shadow Studies (prepared by Kirkor Architects)

# SHADOW STUDY

---

561 Jarvis, 102-120 Earl Toronto

PREPARED FOR:  
ORIGINATE DEVELOPMENTS

JULY 2022

A shadow study has been prepared by Kirkor Architects & Planners in assessing the shadow impacts at the spring/fall equinoxes (March/September 21st). The official plan requires buildings to be located and massed to adequately limit shadow impacts on adjacent Neighbourhoods, particularly during the spring and fall equinoxes (Policy 4.5.2(d)).

The subject site is located within a neighbourhood designation in the downtown core adjacent to both Apartment neighbourhoods and mixed use areas. The proposal is not impacting any public space, park, or sensitive property.

With respect to sunlight on the adjacent neighbourhoods; during the times measured on March/September 21st full sun is provided in the mornings within the neighbourhood designation, with the first shadows being cast on in these areas at 12:18pm. After this time the proposed shadow moves quickly across the neighbourhood properties impacting low rise properties for a period of 2 hours or less (immediately adjacent properties near the end of the day).

Based on our analysis, it is our opinion that the incremental shadow impact is adequately limited, both in terms of its extent and duration, and would not adversely affect the surrounding neighbourhood.



9:18 am

**Legend**

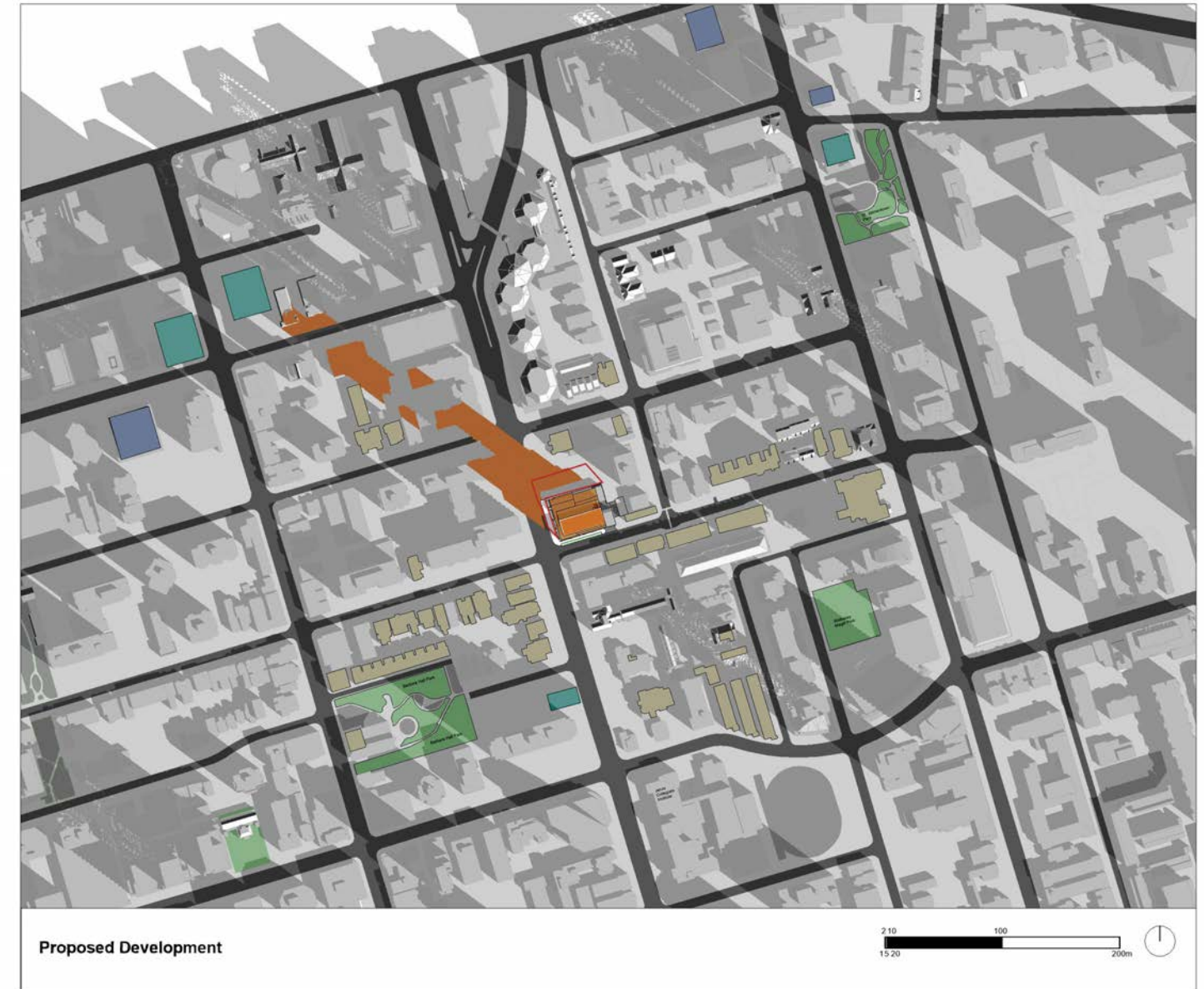
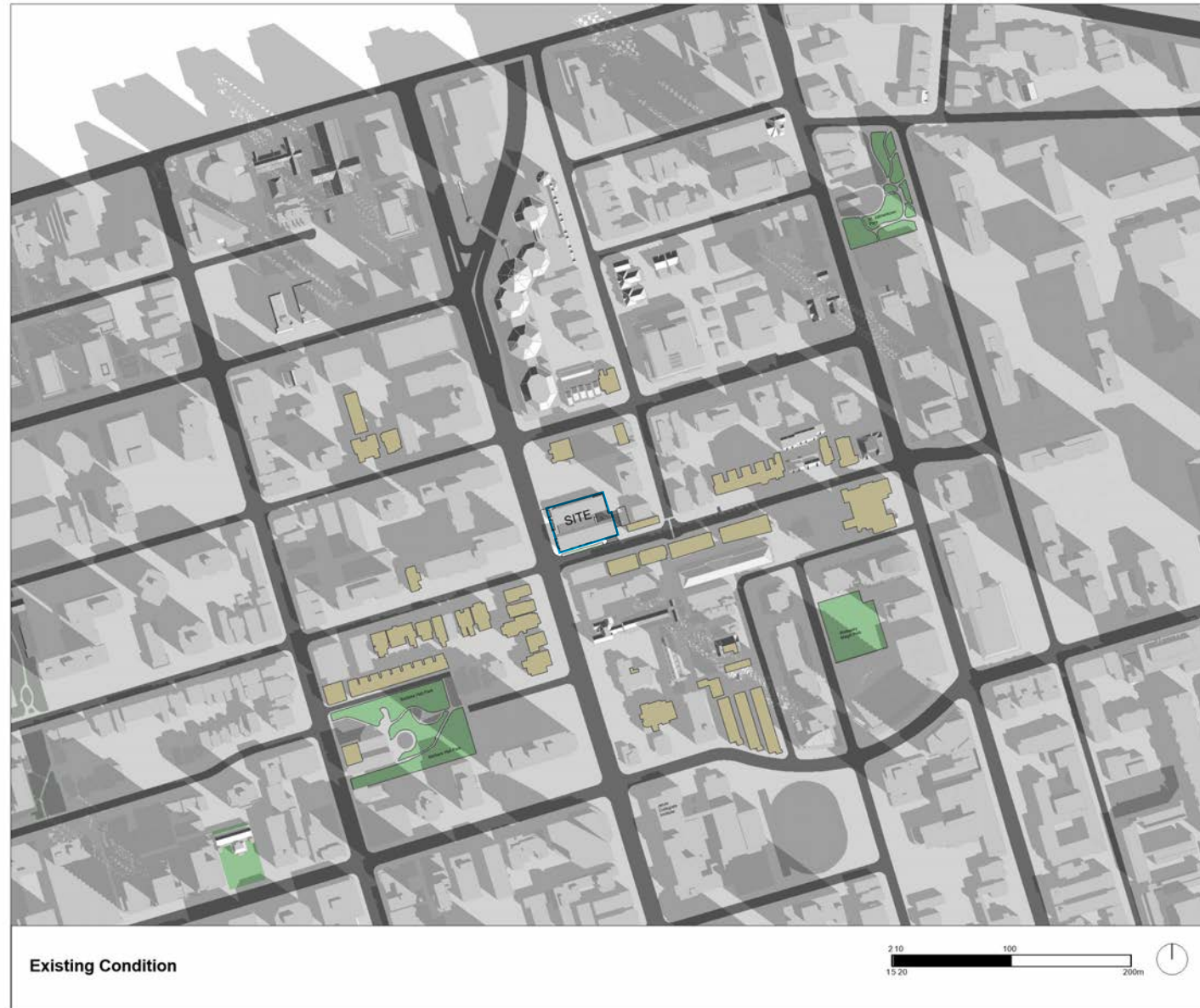
- Subject Site
- Development Proposal
- Approved/ Not Yet Constructed
- Under Construction
- Park and Open Space
- Shadow Cast by Development Proposal
- Shadow Cast by AOR Massing
- Shadow Cast by Existing, Under Construction, Approved not yet constructed
- Heritage



10:18 am

**Legend**

- Subject Site
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11:18 am

Legend

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12:18 pm

Legend

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